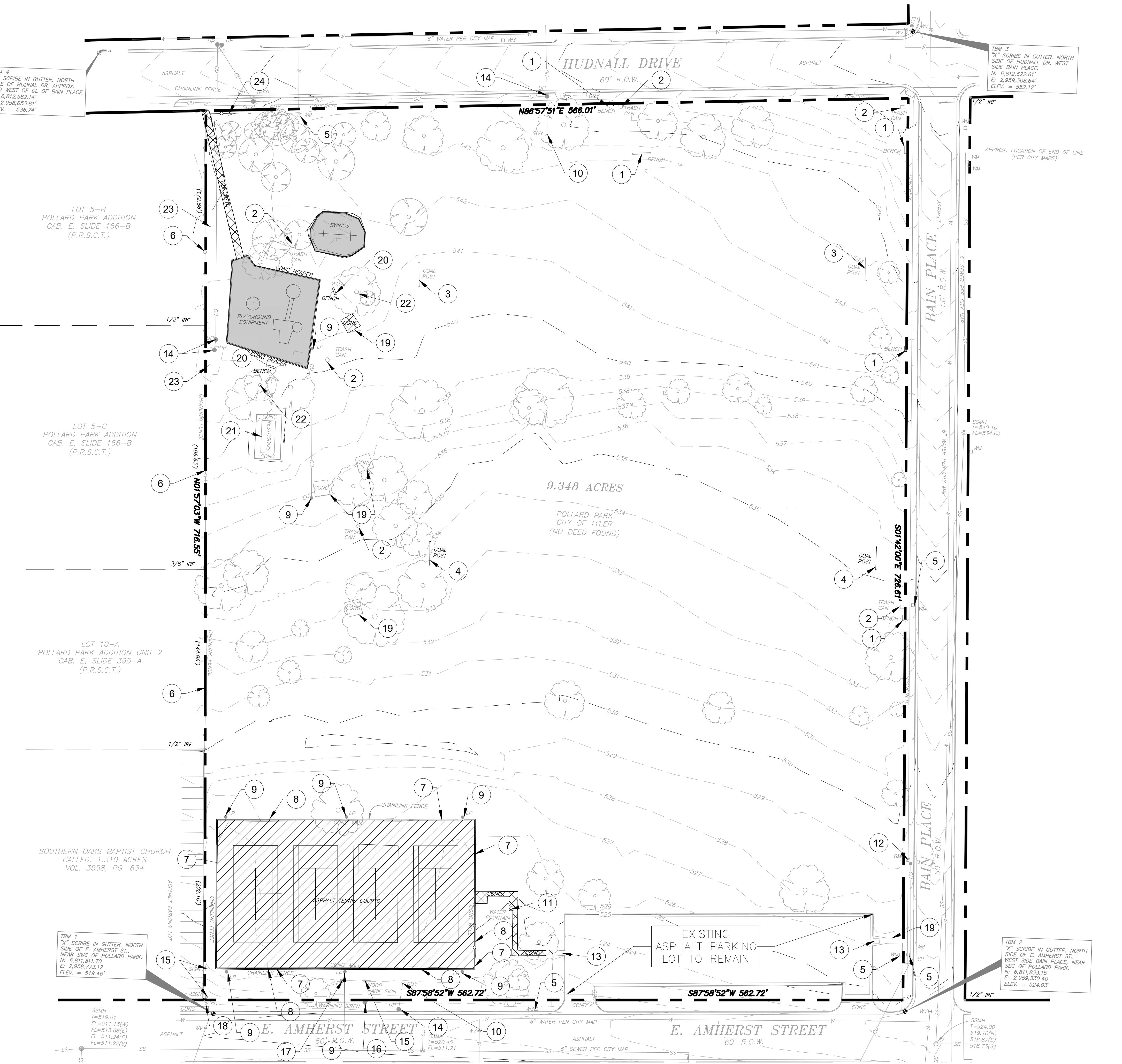


**POLLARD PARK
IMPROVEMENTS**
CITY OF TYLER
TYLER, TEXAS 75701



half

1121 ESE Loop 323
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Tyler, Texas 75701
(903) 617-5360
TBELLS FIRM #F-312



LEGEND	
	EX CONCRETE TO BE REMOVED AND DISPOSED
	EX PLAYGROUND EQUIPMENT AND HEADERS TO BE REMOVED AND DISPOSED
	EX ASPHALT TO BE REMOVED AND DISPOSED
	PROPERTY LINE

KEYNOTES

- EXISTING BENCH TO REMAIN
- EXISTING TRASH CAN TO REMAIN
- EXISTING GOAL POST TO REMAIN
- EXISTING GOAL POST TO BE REMOVED
- EXISTING WATER METER TO REMAIN
- EXISTING CHAIN LINK FENCE TO REMAIN
- EXISTING WINDSCREEN TO BE REMOVED FROM CHAIN LINK FENCE, AND CHAIN LINK FENCE TO REMAIN
- EXISTING CONCRETE WALL TO REMAIN
- EXISTING LIGHT POLE TO REMAIN
- EXISTING GUY WIRE ANCHOR TO REMAIN
- EXISTING WATER FOUNTAIN TO REMAIN
- EXISTING GAS METER TO REMAIN
- EXISTING ADA RAMP TO REMAIN
- EXISTING UTILITY POLE TO REMAIN
- EXISTING SIGN TO REMAIN
- EXISTING WARNING SIREN TO REMAIN
- EXISTING ELECTRICAL BOX TO REMAIN
- EXISTING FIRE HYDRANT TO REMAIN
- EXISTING CONCRETE TO REMAIN
- EXISTING BENCH TO BE REMOVED
- EXISTING RESTROOM BUILDING AND SURROUNDING CONCRETE TO REMAIN
- CONTRACTOR TO CONFIRM TREE REMOVAL REQUIRED AROUND PROPOSED PLAYGROUND AREAS WITH CITY OF TYLER AFTER STAKING IS COMPLETED AND PRIOR TO BEGINNING CONSTRUCTION
- EXISTING GATE TO REMAIN
- EXISTING CHAIN LINK FENCE TO BE REMOVED

TBM 1 ELEVATION - 519.46'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., NEAR SWC OF POLLARD PARK.
N: 6,811,811.70
E: 2,958,773.12

TBM 2 ELEVATION - 524.03'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., WEST SIDE BAIN PLACE, NEAR SEC OF POLLARD PARK.
N: 6,811,833.15
E: 2,959,330.40

TBM 3 ELEVATION - 552.12'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., NEAR SWC OF POLLARD PARK.
N: 6,811,811.70
E: 2,958,773.12

TBM 4 ELEVATION - 536.74'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., NEAR SWC OF POLLARD PARK.
N: 6,812,582.14
E: 2,958,653.81

DEMOLITION PLAN

POLLARD PARK IMPROVEMENTS

CITY OF TYLER
TYLER, TEXAS 75701

TYLER, TEXAS 75701
CITY OF TYLER
TYLER, TEXAS 75701



A Natural Beauty



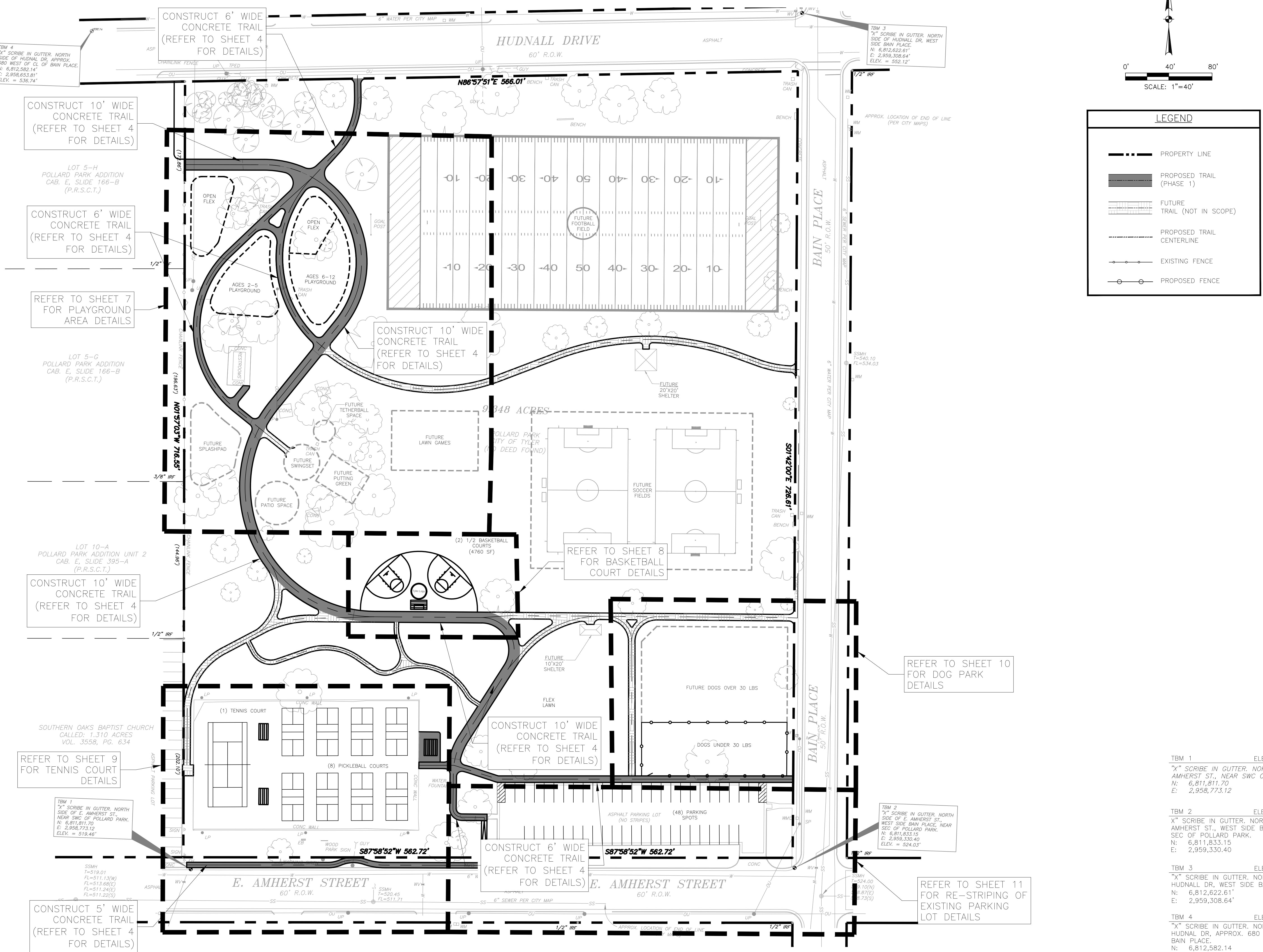
21 ESE Loop 323
Site 117
Silver, Texas 75701
(003) 6117-5360

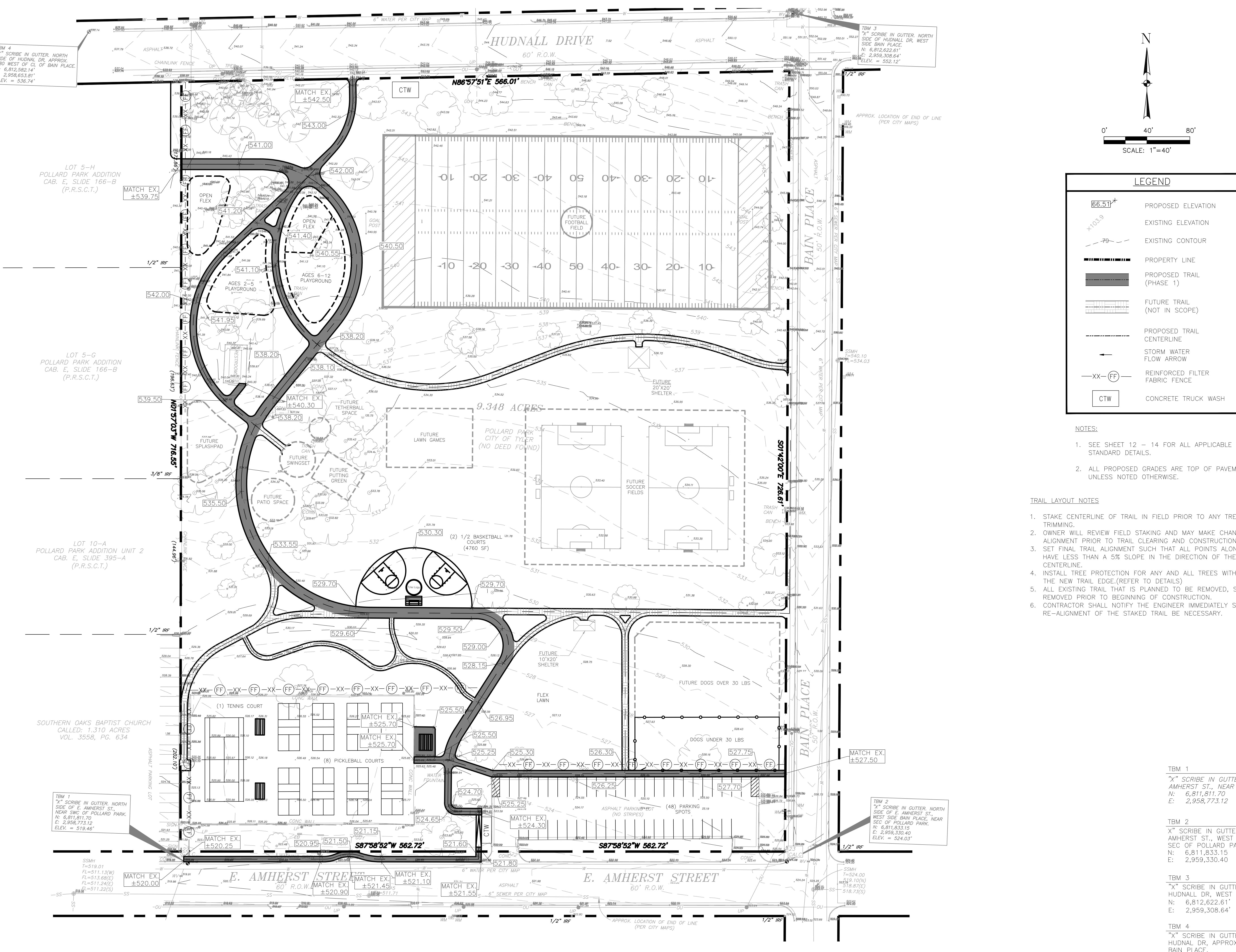
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ller, Texas 75701
(03) 617-5360
3PEL'S FIRM #F-31

ct No.: 46071.001
d: 2/28/2023
Re: 65

By: CF
checked By: TE
: AS NOTED
Title
GERALL SITE PLAN

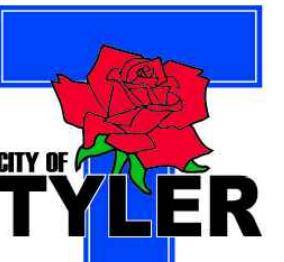
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POLLARD PARK IMPROVEMENTS

CITY OF TYLER
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A Natural Beauty

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**POLLARD PARK
IMPROVEMENTS**
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TYLER, TEXAS 75701



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TBELLS FIRM #F-312

Project No.:	46071.001
Issued:	2/28/2023
Drawn By:	CF
Checked By:	TE
Scale:	AS NOTED
Sheet Title	UTILITY PLAN
6	
Sheet Number	

POLLARD PARK IMPROVEMENTS

CITY OF TYLER
TYLER, TEXAS 75701

TYLER, TEXAS 75701



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TBPELS FIRM #F-312

ct No.:	46071.001
d:	2/28/2023
n By:	CF

checked By:	TE
	AS NOTED
Title	
PLAYGROUND PLAN	
7	
Number	

LEGEND

— - - PROPERTY LINE

 PROPOSED TRAIL (PHASE 1)

 FUTURE TRAIL (NOT IN SCOPE)

 PROPOSED TRAIL CENTERLINE

 EXISTING FENCE

NOTES:

This cross-sectional diagram illustrates the drainage system for a playground area. At the top left, a rectangular box labeled 'PLAYGROUND AREA INFILL MATERIAL' contains a cross-hatched pattern. A vertical line labeled 'PLAYGROUND AREA HEADER' extends downwards from the top of this box. A horizontal line labeled 'PROPOSED TRAIL' extends from the right side of the header. Below the header, a horizontal line labeled '6" PVC STORM PIPE @ 1.00% SLOPE' runs diagonally downwards. A vertical line labeled '8"' indicates the height of the header above the storm pipe. A horizontal line labeled 'OUTFALL PIPE INVERT TO MATCH EXISTING GRADE' extends from the bottom right corner. A vertical line labeled '6" OUTFALL PIPE TO CONNECT TO THE PLAYGROUND'S UNDER DRAIN SYSTEM' extends from the bottom left corner. The diagram shows a transition from the header to the storm pipe, and from the storm pipe to the outfall pipe.

TYPICAL PLAYGROUND DRAINAGE

DISCHARGE PIPE DETAIL

BM 1 ELEVATION - 519.46'
" SCRIBE IN GUTTER. NORTH SIDE OF E.
MHERST ST., NEAR SWC OF POLLARD PARK.
6,811,811.70
2,958,773.12

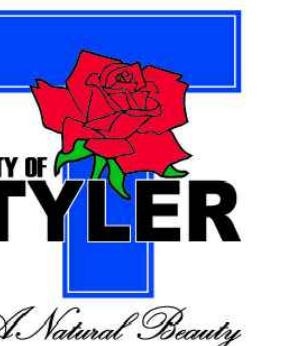
BM 2 ELEVATION - 524.03'
SCRIBE IN GUTTER. NORTH SIDE OF E.
MHERST ST., WEST SIDE BAIN PLACE, NEAR
EC OF POLLARD PARK.
6,811,833.15
2,959,330.40

BM 3 ELEVATION - 552.12'
" SCRIBE IN GUTTER. NORTH SIDE OF
UDNALL DR, WEST SIDE BAIN PLACE.
: 6,812,622.61'
: 2,959,308.64'

BM 4 ELEVATION - 536.74'
K" SCRIBE IN GUTTER. NORTH SIDE OF
UDNAL DR, APPROX. 680 WEST OF CL OF
AIN PLACE.
: 6,812,582.14
: 2,958,653.81

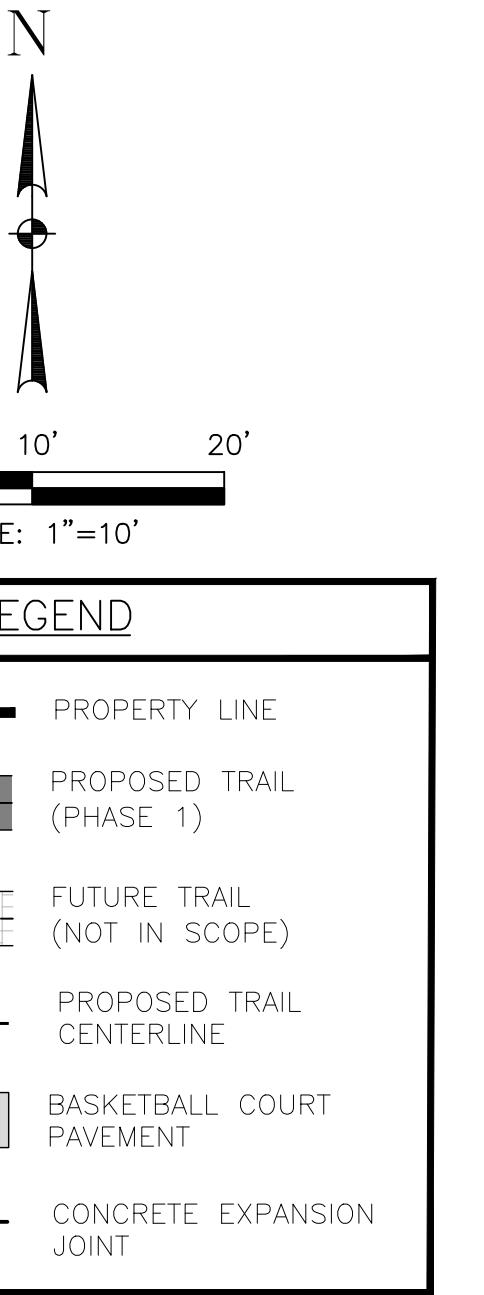
This architectural site plan illustrates the layout of a playground and splashpad area. The plan features a central paved area with a large circular driveway. To the left, a rectangular area is designated for a **FUTURE SPLASHPAD**, marked with a dashed boundary. To the right, a **FUTURE SWINGSET** and **FUTURE PUTTING GREEN** are indicated. Further to the right, a **FUTURE TETHERBALL SPACE** and **FUTURE LAWN GAMES** area are shown. A **CONC** (concrete) structure, labeled **RESTROOMS**, is located near the center. The plan includes several **OPEN FLEX** areas, **AGES 2-5 PLAYGROUND**, and **AGES 6-12 PLAYGROUND**, each marked with dashed boundaries. **EXISTING GATE** and **CHAINLINK FENCE** are shown along the perimeter. A **GOAL POST** is positioned near the top right. A **TRASH CAN** is located in the **AGES 6-12 PLAYGROUND** area. A **CONTRACTOR TO CONFIRM TREE REMOVAL REQUIRED AROUND PROPOSED PLAYGROUND AREAS WITH CITY OF TYLER AFTER STAKING IS COMPLETED AND PRIOR TO BEGINNING CONSTRUCTION** note is present in the top right and bottom left. A coordinate **NO1°57'03" W 716.55'** and elevation **(196.63')** are marked on the left side. A vertical dimension line on the left indicates a height of **(172.86')**. A north arrow is located in the top right corner.

**POLLARD PARK
IMPROVEMENTS**
CITY OF TYLER
TYLER, TEXAS 75701



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(903) 617-5360
TBELLS FIRM #F-312



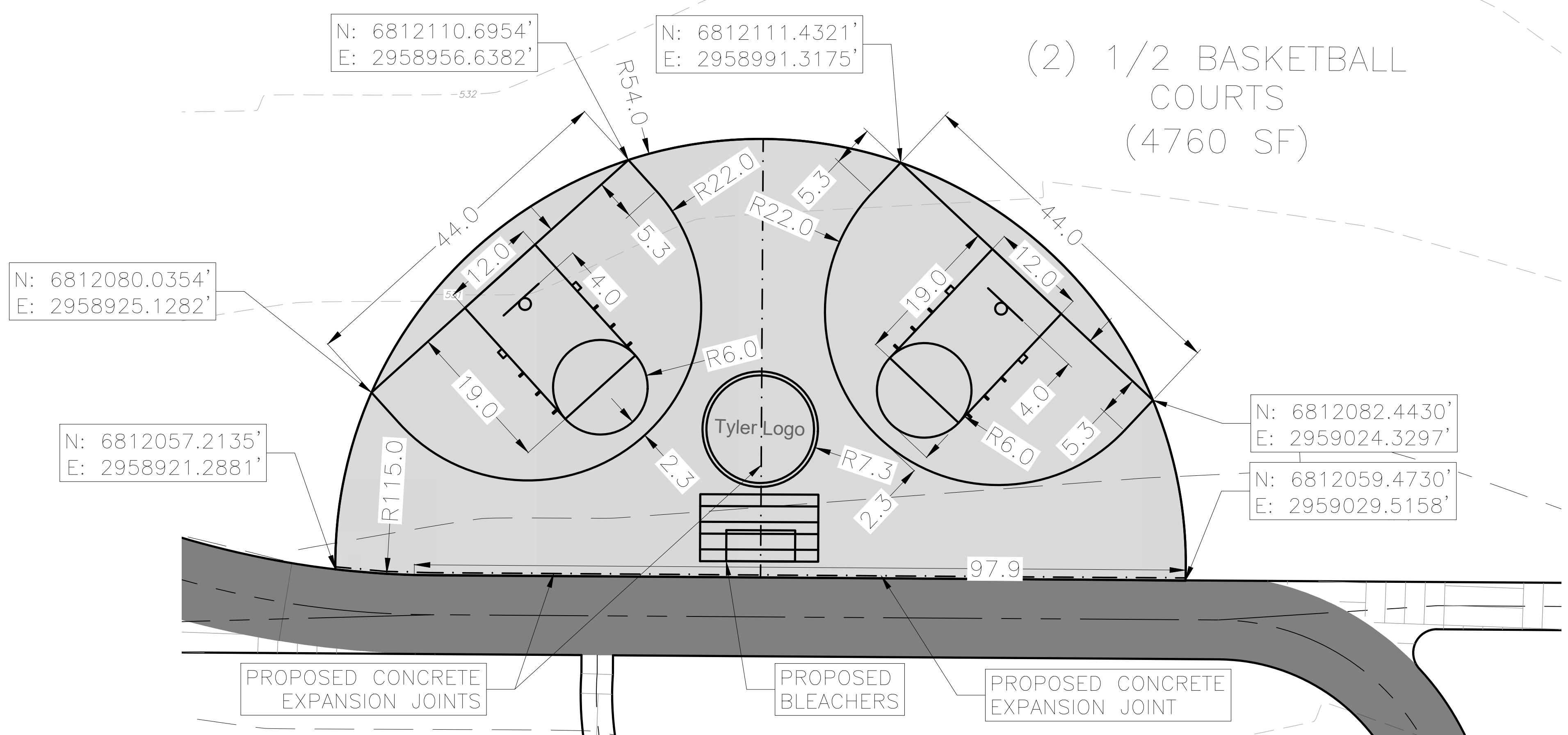
NOTES:

1. SEE SHEET 4 FOR TRAIL DETAILS.

BASKETBALL COURT NOTES

1. STAKE CORNERS OF COURTS IN FIELD PRIOR TO ANY TREE REMOVAL OR TRIMMING.
2. OWNER WILL REVIEW FIELD STAKING AND MAY MAKE CHANGES PRIOR TO CLEARING AND CONSTRUCTION.
3. INSTALL TREE PROTECTION FOR ANY AND ALL TREES WITHIN 10 FEET OF THE NEW COURT FOUNDATION.
4. BASKETBALL COURT CONSTRUCTION SHALL CONSIST OF A 5" THICK CONCRETE SLAB.
5. BASKETBALL COURT SUBGRADE SHALL BE COMPAKTED TO 95% STANDARD PROCTOR DENSITY AT $\pm 3\%$ OPTIMUM MOISTURE.
6. INSTALL A MINIMUM 6 MIL. THICKNESS OF VIRGIN POLYETHYLENE FILM VAPOR BARRIER BETWEEN SAND CUSHION AND CONCRETE SLAB. LAP JOINTS A MINIMUM OF 12", PATCH AND SEAL ALL JOINTS AND PUNCTURES WITH ADHESIVE POLYETHYLENE TAPE TO PROVIDE A WATERPROOF MEMBRANE.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR FINISH GRADING AND ASSURING THAT ALL WATER DRAINS AWAY FROM THE FINISHED SLAB.
8. THE CONCRETE SLAB SHALL BE INSTALLED IN NOT MORE THAN 2 SEPARATE POURS USING KEYED CONSTRUCTION JOINT WITH 24" DOWELS PENETRATING 12" ON THRU THE KEYWAY.
9. BARS TO BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACEMENT OF CONCRETE.
10. THE PLAYING SURFACE SHALL BE FINISHED WITH THE PLEXIPAVE ACRYLIC COLOR SURFACING SYSTEM AS MANUFACTURED BY CALIFORNIA PRODUCTS CORP., 169 WAVERLY ST. P.O. BOX 569, CAMBRIDGE, MA. 02139, 1-800-225-4441 OR AN APPROVED EQUAL. THE SYSTEM SHALL CONSIST OF AN ACIDETCHING AFTER A 28 DAY CURING PERIOD, TRI-COAT PRIMER, COLORED ACRYLIC RESURFACER, TWO COATS OF COLORED FORTIFIED PLEXIPAVE AND 100% ACRYLIC LATEX, TEXTURED, WHITE LINE PAINT. THE SURFACE COLOR SHALL BE FLORIDA GREEN, IN-BOUNDS, WITH LIGHT GREEN OUT-OF-BOUNDS. THE SURFACE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
11. SUBGRADE SOILS WITH A PI GREATER THAN 15 SHALL BE EXCAVATED TO A DEPTH OF THREE FEET AND REPLACED WITH SELECT FILL.
12. BASKETBALL COURT PAVEMENT SHALL BE:
 - a. PAVEMENT AREA: 5" THICK, 3500 PSI CONCRETE REINFORCED WITH #4 REINFORCING BARS @ 12" O.C.E.W.

**(2) 1/2 BASKETBALL
COURTS
(4760 SF)**



TBM 1 ELEVATION - 519.46'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E.
AMHERST ST., NEAR SWC OF POLLARD PARK.
N: 6,811,811.70
E: 2,958,773.12

TBM 2 ELEVATION - 524.03'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E.
AMHERST ST., WEST SIDE BAIN PLACE, NEAR
SEC OF POLLARD PARK.
N: 6,811,833.15
E: 2,959,330.40

TBM 3 ELEVATION - 552.12'
"X" SCRIBE IN GUTTER, NORTH SIDE OF
HUDNALL DR, WEST SIDE BAIN PLACE.
N: 6,812,622.61'
E: 2,959,308.64'

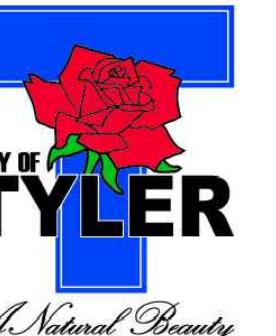
TBM 4 ELEVATION - 536.74'
"X" SCRIBE IN GUTTER, NORTH SIDE OF
HUDNALL DR, APPROX. 680 WEST OF CL OF
BAIN PLACE.
N: 6,812,582.14
E: 2,958,653.81

Project No.: 46071.001
Issued: 2/28/2023
Drawn By: CF
Checked By: TE
Scale: AS NOTED
Sheet Title: BASKETBALL COURT PLAN
Sheet Number: 8

POLLARD PARK IMPROVEMENTS

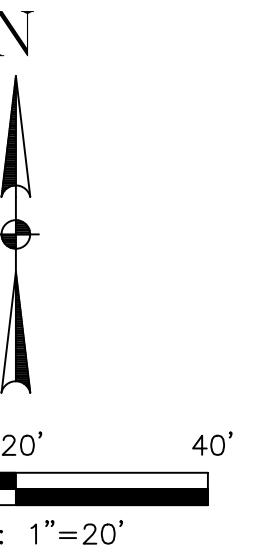
CITY OF TYLER
TYLER, TEXAS 75701

PROVEMENT
CITY OF TYLER
TYLER, TEXAS 75701



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Tyler, Texas 75701
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LEGEND

NOTES:

1. SEE SHEET 12-14 FOR ALL APPLICABLE STANDARD DETAILS.
2. REFER TO SHEET 4 FOR TRAIL DETAILS.
3. REFER TO SHEET 11 FOR PARKING LOT DETAILS.

TENNIS COURT NOTES

1. INSTALL TREE PROTECTION FOR ANY AND ALL TREES WITHIN 10 FEET OF THE TENNIS COURT FOUNDATION.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR FINISH GRADING AND ASSURING THAT ALL WATER DRAINS AWAY FROM THE FINISHED SLAB..
3. THE PLAYING SURFACE SHALL BE FINISHED WITH THE PLEXIPAVE ACRYLIC COLOR SURFACING SYSTEM AS MANUFACTURED BY CALIFORNIA PRODUCTS CORP., 169 WAVERLY ST., P.O. BOX 569, CAMBRIDGE, MA. 02139, 1-800-225-1141 OR AN APPROVED EQUAL. THE SYSTEM SHALL CONSIST OF AN ACIDETCHING AFTER A 28 DAY CURING PERIOD, TRI-COAT PRIMER, COLORED ACRYLIC RESURFACER, TWO COATS OF COLORED FORTIFIED PLEXIPAVE AND 100% ACRYLIC LATEX, TEXTURED, WHITE LINE PAINT. THE SURFACE COLOR SHALL BE FLORIDA GREEN, IN-BOUNDS, WITH LIGHT GREEN OUT-OF-BOUNDS. THE SURFACE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
4. TENNIS NET SHALL BE HEAVY DUTY 3MM BRAIDED POLYETHYLENE, 1 3/4" SQUARE MESH EQUAL TO THE MAXI BY M. PUTTERMAN & CO., CHICAGO, IL., (312) 927-4120. NET POST SHALL BE 3 1/4" O.D. HEAVY DUTY ALUMINUM W/ GROUND SLEEVES MODEL #RR-100-REGAL BY COURT-1-MONTREAL, CANADA, (514) 731-3607.
5. PROVIDE AND INSTALL BISON COMPETITION PICKLEBALL POST SYSTEM PK10XL OR APPROVED EQUAL. EIGHT (8) REQUIRED.
6. ALL 10' HIGH CHAIN LINK FENCING SHALL BE LINED WITH TENN-9 VINYL COATED POLYESTER WINDSCREEN, 9' TALL AS MANUFACTURED BY PUTTMAN. INSTALL WINDSCREEN PER MANUFACTURERS SPECIFICATIONS.
7. CONTRACTOR TO PAINT ALL EXISTING FENCE POSTS BLACK.
8. CONTRACTOR TO PAINT EXISTING LIGHT POLES BLACK.

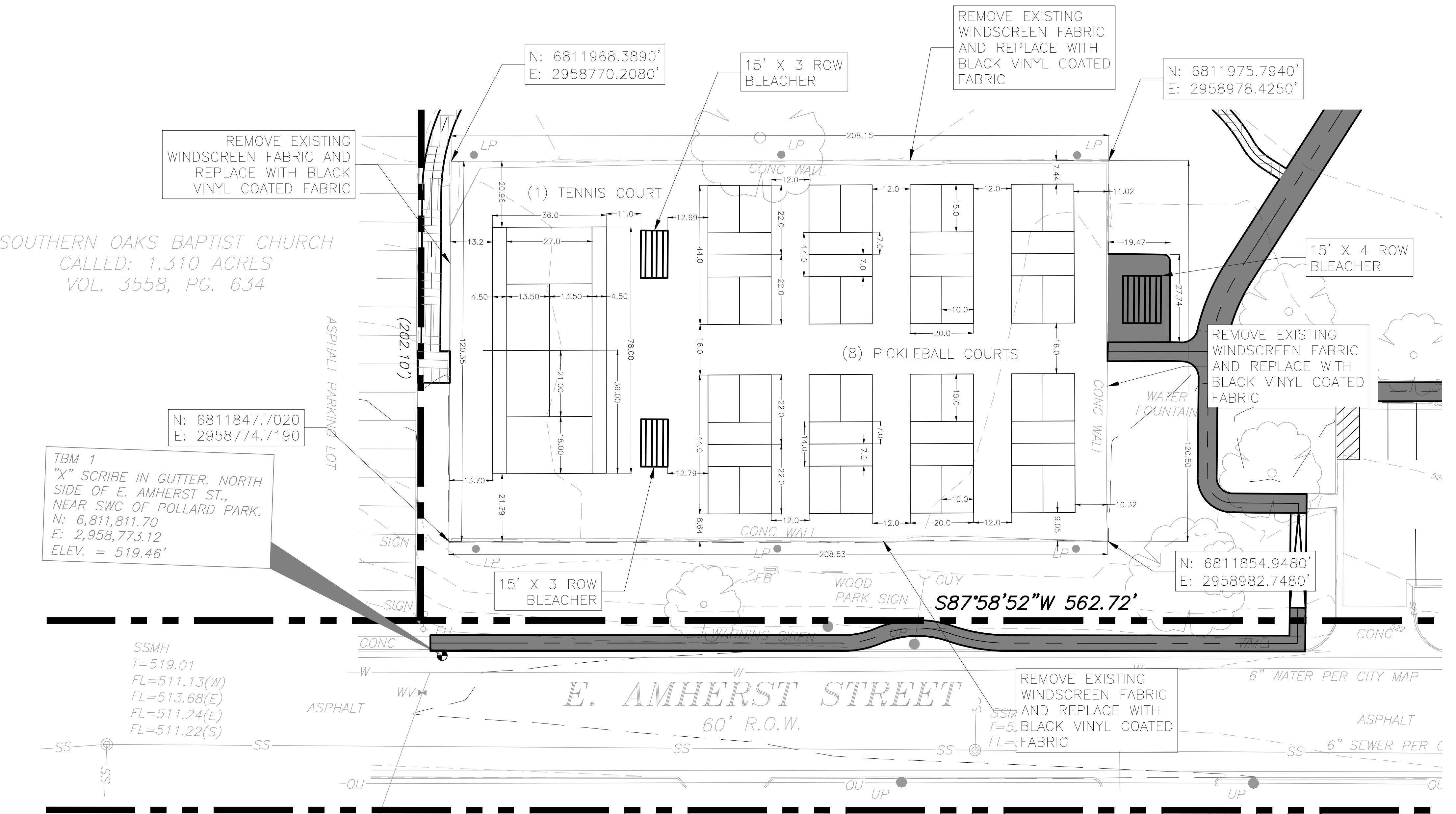
BM 1 ELEVATION - 519.46'
" SCRIBE IN GUTTER. NORTH SIDE OF E.
MHERST ST., NEAR SWC OF POLLARD PARK.
6,811,811.70
2,958,773.12

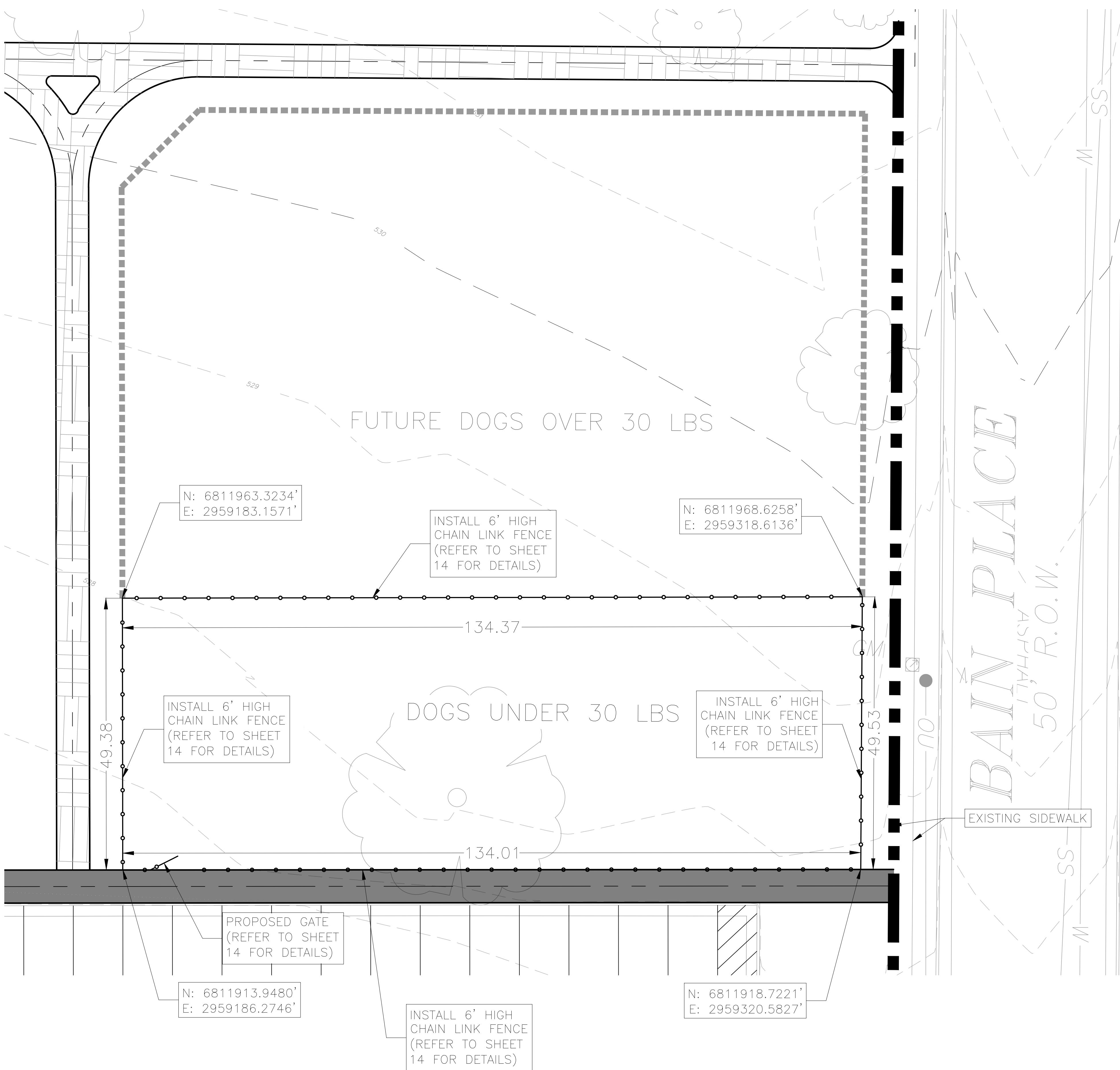
BM 2 ELEVATION - 524.03'
' SCRIBE IN GUTTER. NORTH SIDE OF E.
MHERST ST., WEST SIDE BAIN PLACE, NEAR
E OF POLLARD PARK.
6,811,833.15
2,959,330.40

BM 3 ELEVATION - 552.12'
" SCRIBE IN GUTTER. NORTH SIDE OF
UDNALL DR, WEST SIDE BAIN PLACE.
6,812,622.61'
2,959,308.64'

BM 4 ELEVATION - 536.74'
" SCRIBE IN GUTTER. NORTH SIDE OF
UDNAL DR, APPROX. 680 WEST OF CL OF
AIN PLACE.
6,812,582.14
2,958,653.81

Object No.:	46071.001
Entered:	2/28/2023
Drawn By:	CF
Checked By:	TE
Remarks:	AS NOTED
Sheet Title	
ENNIS COURT PLAN	
Sheet Number	





0' 10' 20'

SCALE: 1"=10'

LEGEND

The diagram illustrates five proposed linear features, each consisting of a thick solid line and a dashed line parallel to it. The first feature, labeled 'PROPOSED TRAIL (PHASE 1)', is a horizontal line segment with a grey shaded area between the two lines. The second feature, labeled 'FUTURE TRAIL (NOT IN SCOPE)', is a horizontal line segment with a hatched pattern between the two lines. The third feature, labeled 'PROPOSED TRAIL CENTERLINE', is a horizontal line segment with a dashed line only. The fourth feature, labeled 'PROPOSED FENCE', is a horizontal line segment with two small circles, one on each line. The fifth feature, labeled 'PROPERTY LINE', is a horizontal line segment with four small black squares, two on each line.

NOTES:

1. SEE SHEET 12 – 14 FOR ALL APPLICABLE STANDARD DETAILS.
2. REFER TO SHEET 4 FOR TRAIL DETAILS.
3. REFER TO SHEET 11 FOR PARKING LOT DETAILS.



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BM 1 ELEVATION - 519.46'
" SCRIBE IN GUTTER. NORTH SIDE OF E.
MHERST ST., NEAR SWC OF POLLARD PARK.
6,811,811.70
2,958,773.12

BM 2 ELEVATION - 524.03'
SCRIBE IN GUTTER. NORTH SIDE OF E.
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6,811,833.15
2,959,330.40

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2,958,653.81

**POLLARD PARK
IMPROVEMENTS**
CITY OF TYLER
TYLER, TEXAS 75701



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(903) 617-5360
TBELLS FIRM #F-312

Revision No.	Date	Description

Project No.: 46071.001	Elevation - 519.46'
Issued: 2/28/2023	
Drawn By: CF	
Checked By: TE	
Scale: AS NOTED	
Sheet Title: PARKING LOT PLAN	
11	
Sheet Number	

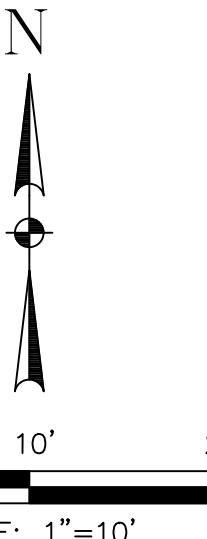
NOTES:

- SEE SHEET 12 - 14 FOR ALL APPLICABLE STANDARD DETAILS.
- REFER TO SHEET 4 FOR TRAIL DETAILS.
- REFER TO SHEET 10 FOR DOG PARK DETAILS.

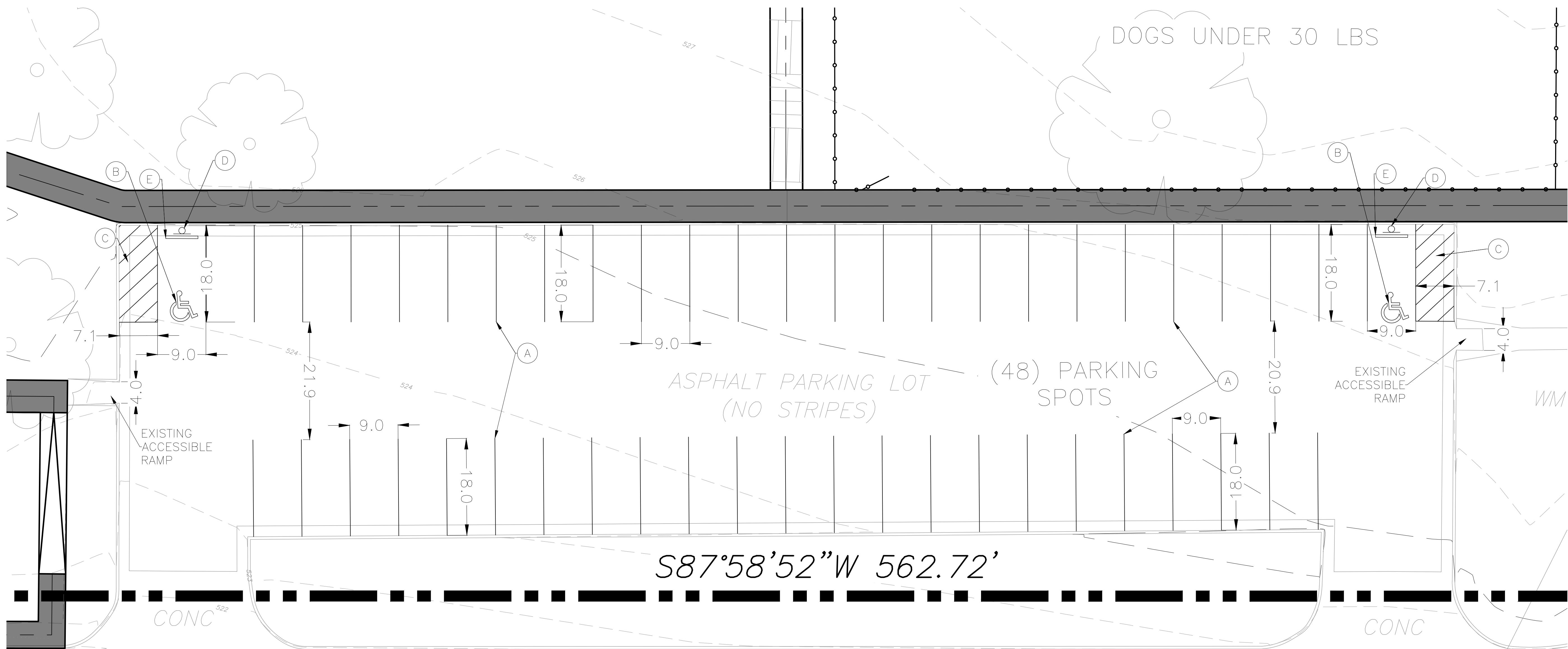
(A) 4" WHITE SOLID TY II PAVEMENT MARKING
(B) BLUE OR WHITE ACCESSIBLE PARKING SYMBOL TY II SEE SHEET 14 FOR DETAIL
(C) 4" WHITE SOLID TY II SEE SHEET 14 FOR DETAIL WITH SPACING
(D) PROPOSED ACCESSIBLE PARKING SIGN SEE SHEET 14 FOR DETAIL (TYP)
(E) PROPOSED WHEELSTOP, SEE SHEET 14 FOR DETAIL (TYP)

KEYNOTES

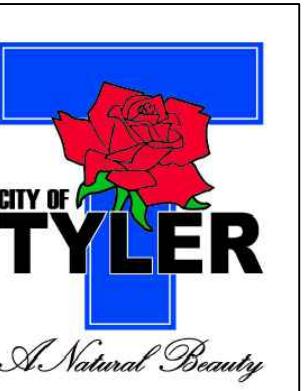
LEGEND	
PROPERTY LINE	
PROPOSED TRAIL (PHASE 1)	
FUTURE TRAIL (NOT IN SCOPE)	
PROPOSED TRAIL CENTERLINE	
PROPOSED FENCE	



SCALE: 1"=10'



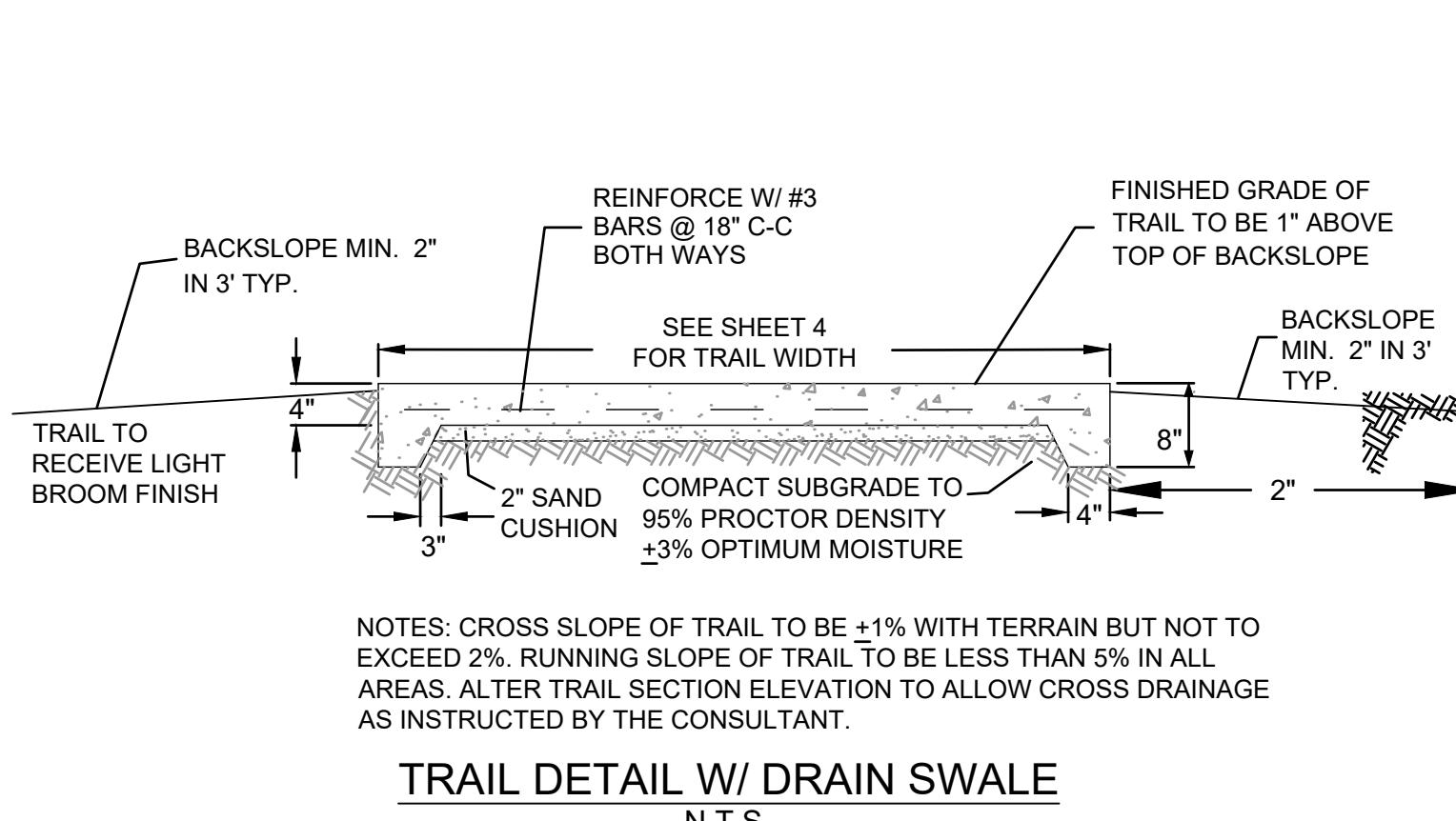
**POLLARD PARK
IMPROVEMENTS**
CITY OF TYLER
TYLER, TEXAS 75701



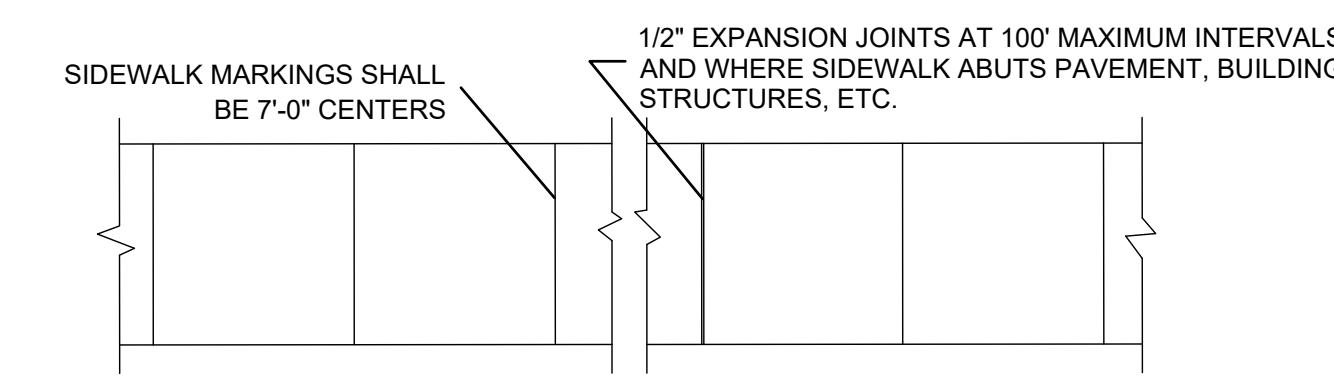
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1121 ESE Loop 323

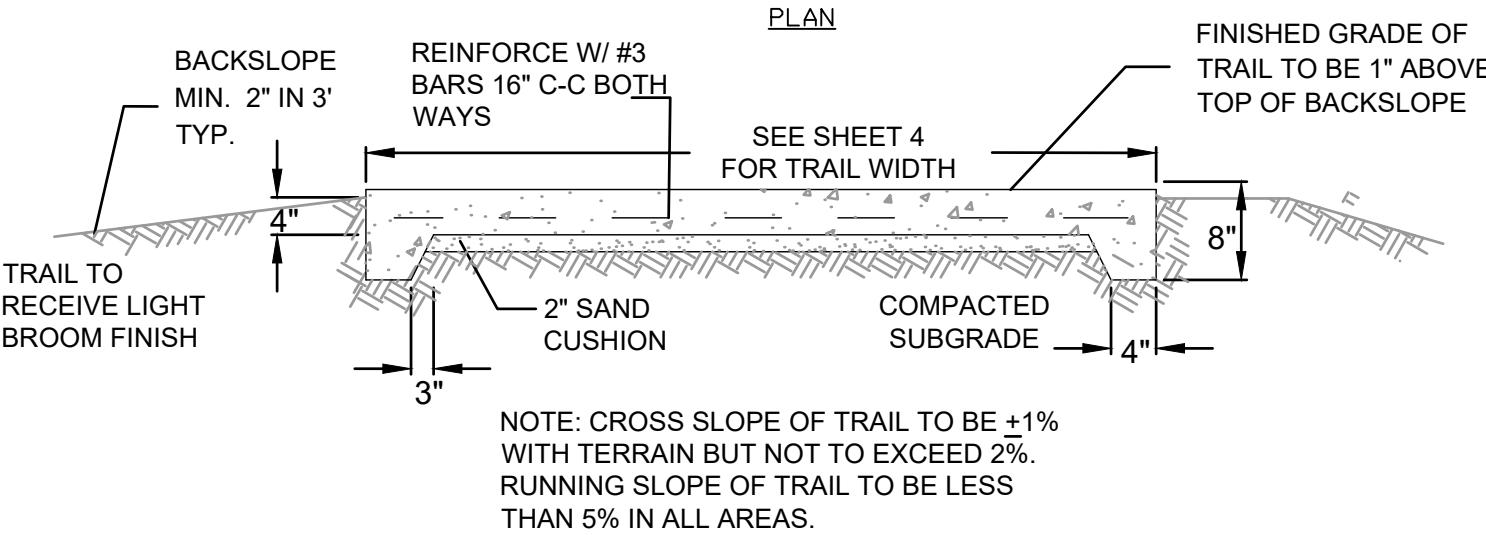
Suite 117
Tyler, Texas 75701
(903) 617-5360
TBELLS FIRM #F-312



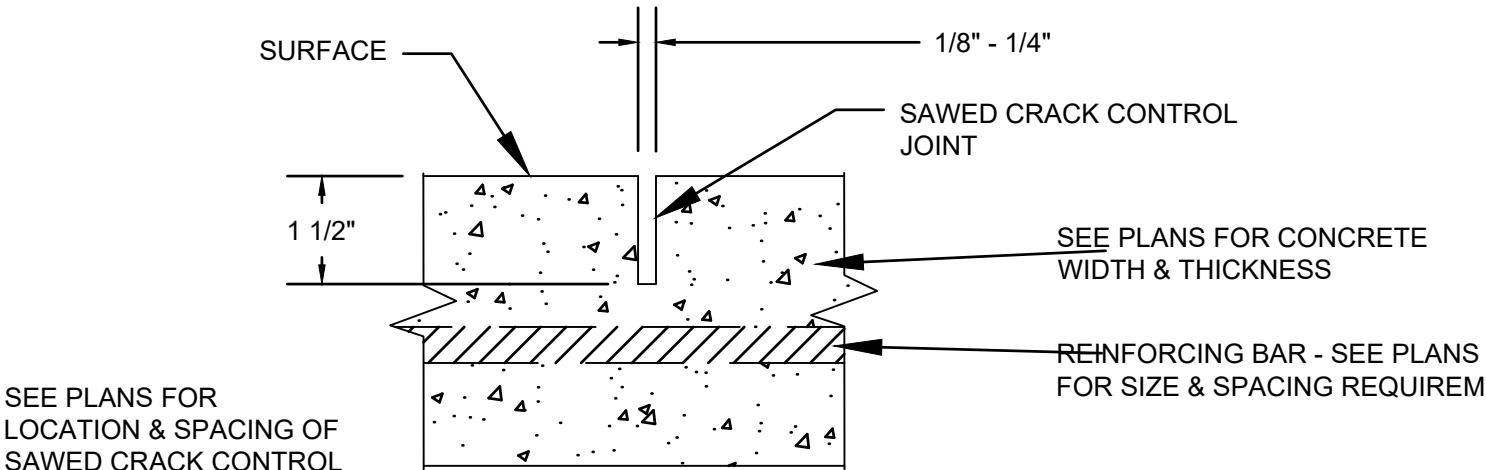
TRAIL DETAIL W/ DRAIN SWALE
N.T.S.



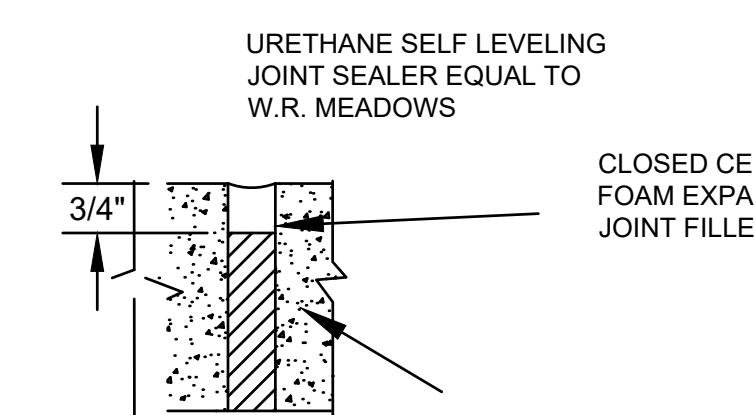
1/2" EXPANSION JOINTS AT 100' MAXIMUM INTERVALS
AND WHERE SIDEWALK ABUTS PAVEMENT, BUILDING
STRUCTURES, ETC.



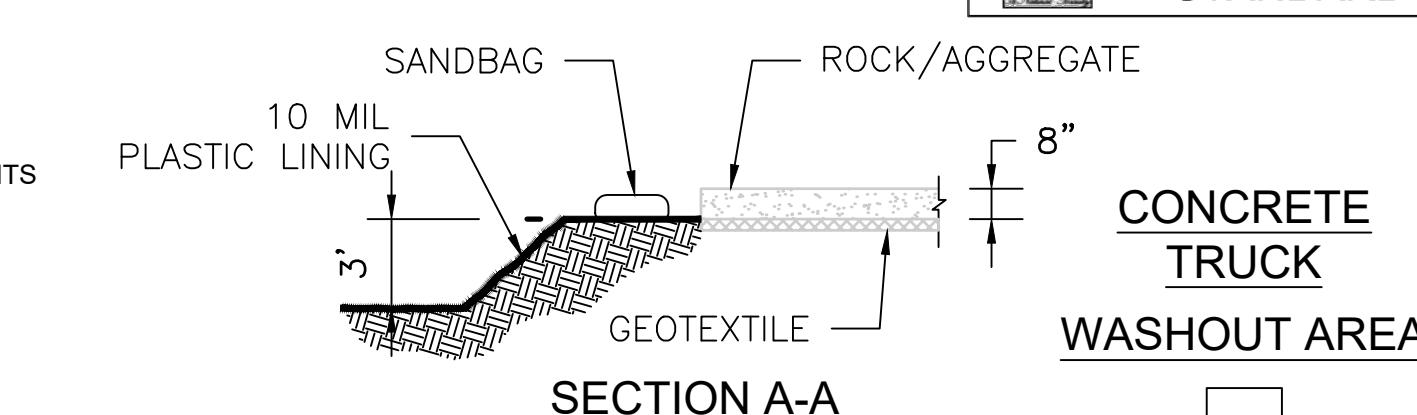
CONCRETE TRAIL DETAIL
N.T.S.



SAWED CRACK CONTROL JOINT
N.T.S.



EXPANSION JOINT DETAIL
N.T.S.



SECTION A-A

SYMBOL

CTW

CONCRETE
TRUCK
WASHOUT AREA

SANDBAG

ROCK/AGGREGATE

GEOTEXTILE

PLASTIC LINING

10 MIL

REINFORCING BAR - SEE PLANS
FOR SIZE & SPACING REQUIREMENTS

SEE PLANS FOR
LOCATION & SPACING OF
SAWED CRACK CONTROL
JOINTS.

SECTION VIEW

SECTION

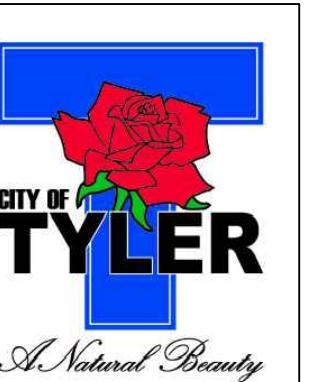
CONCRETE

WASHOUT

AREA

SECTION

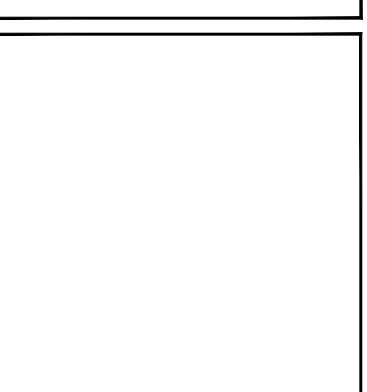
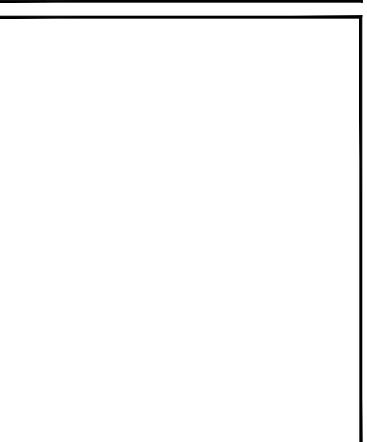
POLLARD PARK
IMPROVEMENTS
CITY OF TYLER
TYLER, TEXAS 75701



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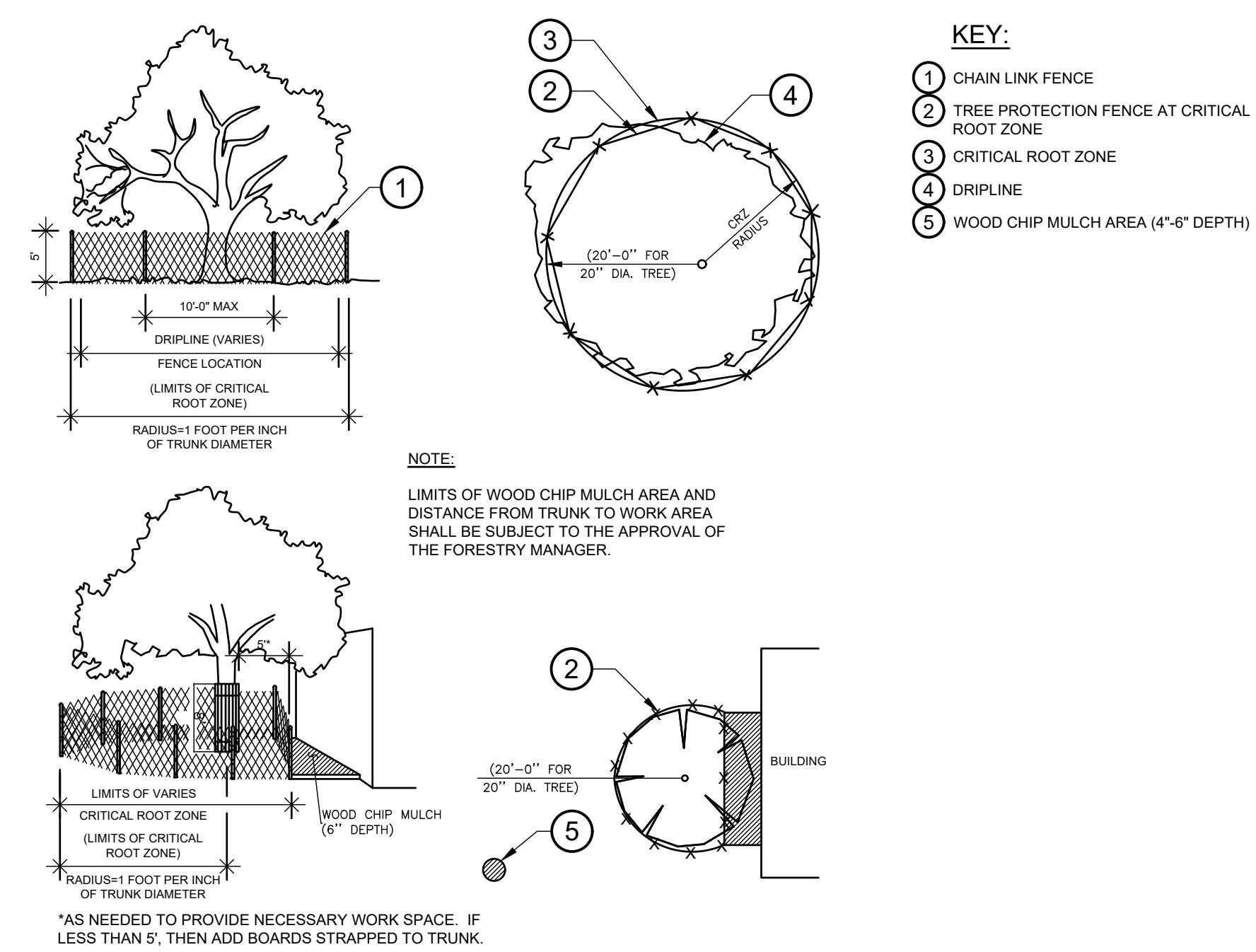
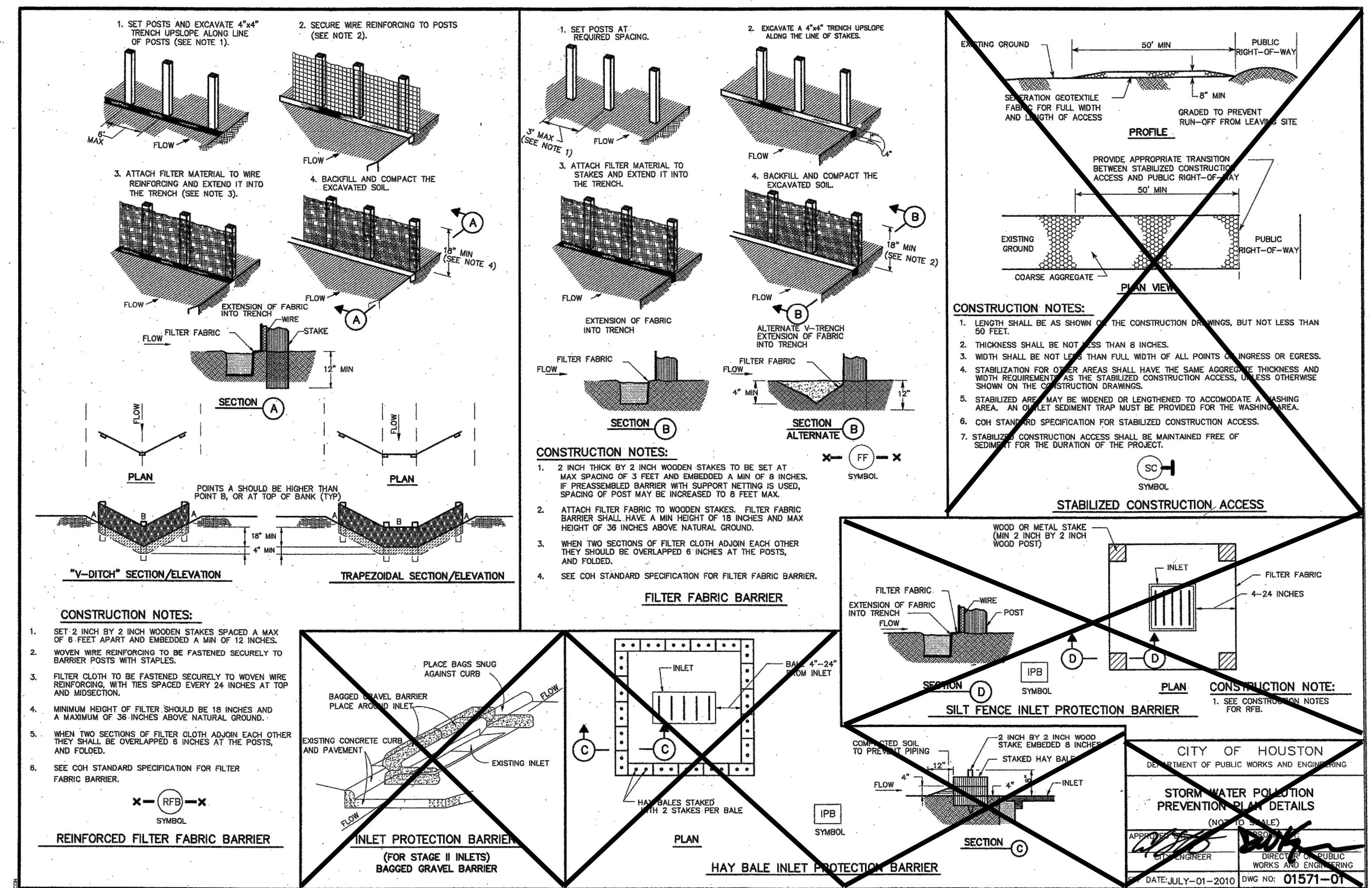
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7 TREE PROTECTION FENCE
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