

# CONSTRUCTION PLANS FOR POLLARD PARK RENOVATIONS

710 E. AMHERST DR.  
TYLER, TX 75701

OWNER

CITY OF TYLER  
212 N. BONNER AVE.  
TYLER, TEXAS 75160

MAYOR

MR. DON WARREN

COUNCIL MEMBERS

STUART HENE  
BRODERICK MCGEE  
SHIRLEY MCKELLAR  
JAMES WYNNE  
BOB WESTBROOK  
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4000 Fossil Creek Blvd.  
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CITY STAFF

EDWARD BROUSSARD - CITY MANAGER  
LEANNE ROBINETTE - DIRECTOR OF PARKS AND RECREATION

CIVIL ENGINEER

Half Associates  
1121 ESE Loop 323, Suite 117  
Tyler, Texas 75701-9660  
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PROJECT SITE

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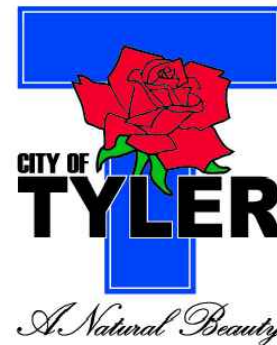
LOCATION MAP  
NOT TO SCALE



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Contact: (903) 617-5361  
mmedford@Halff.com  
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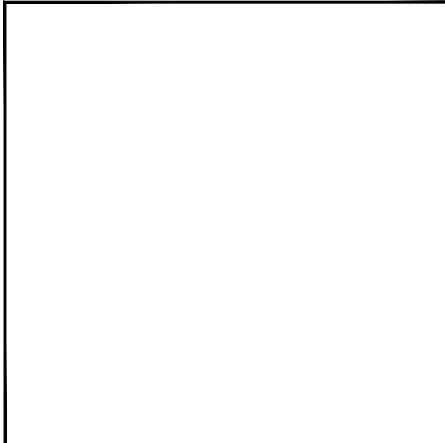
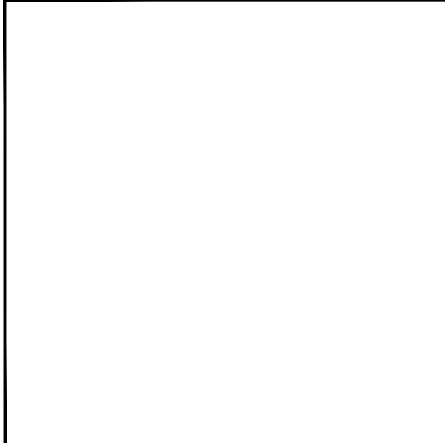
AVO: 46071.001    DATE: FEBRUARY 2023

POLLARD PARK  
IMPROVEMENTS  
CITY OF TYLER  
TYLER, TEXAS 75701



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Revision No.	Date	Description



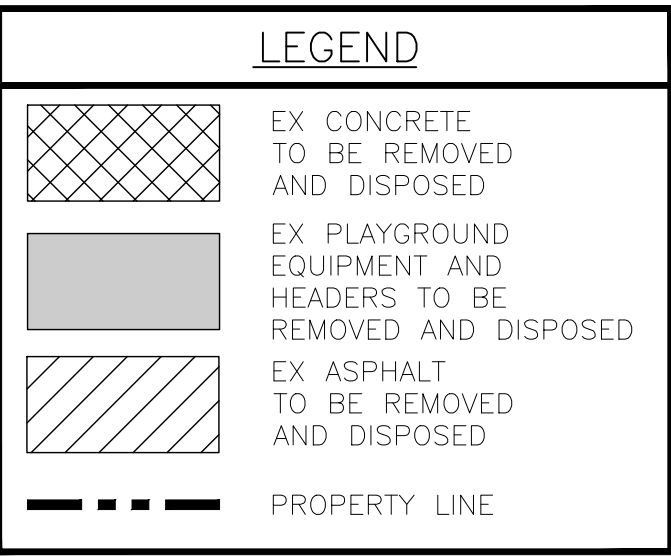
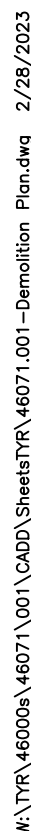
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Checked By:	TE
Scale:	AS NOTED

Sheet Title  
COVER SHEET

1  
Sheet Number



THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE TEXAS "ONE CALL" SYSTEM AT 1-800-344-8377 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.

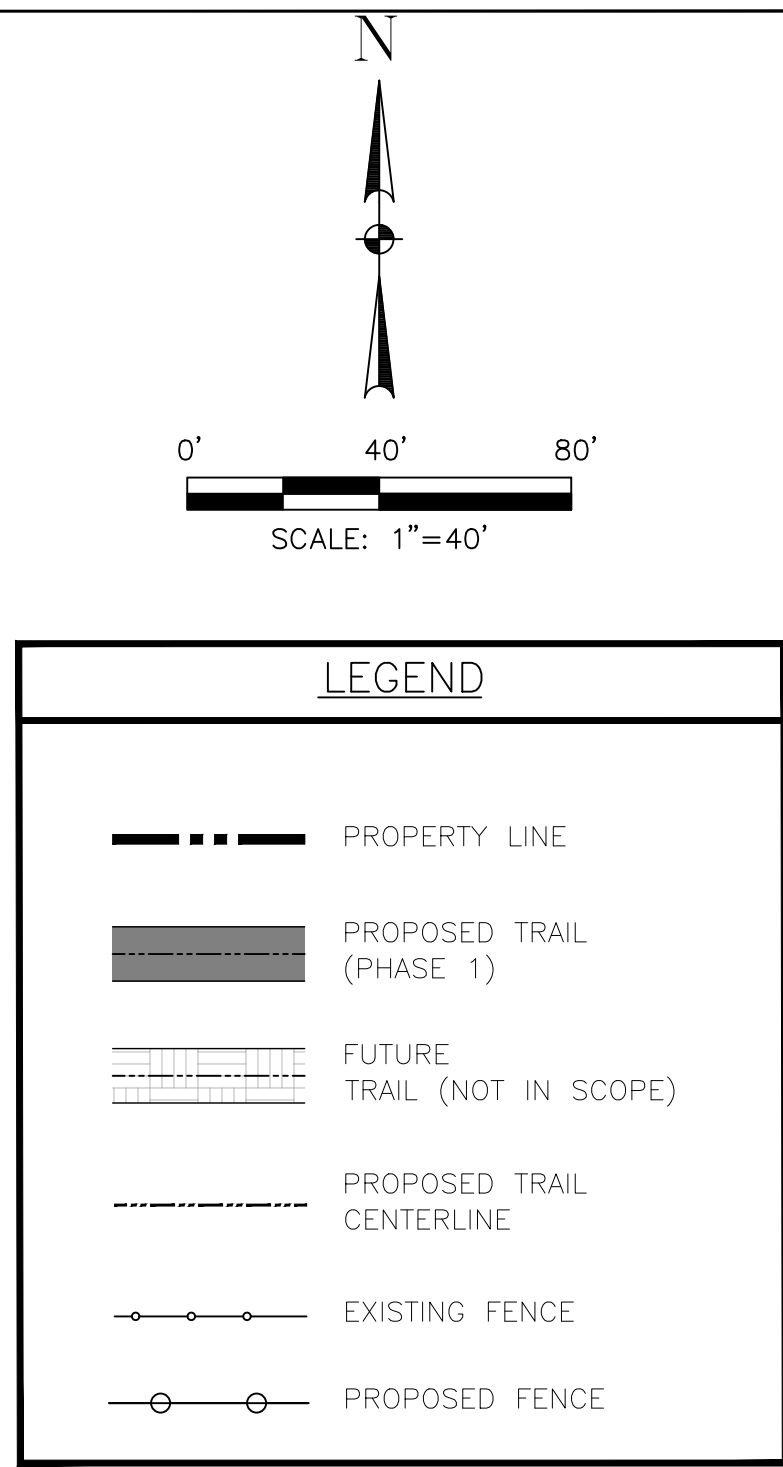
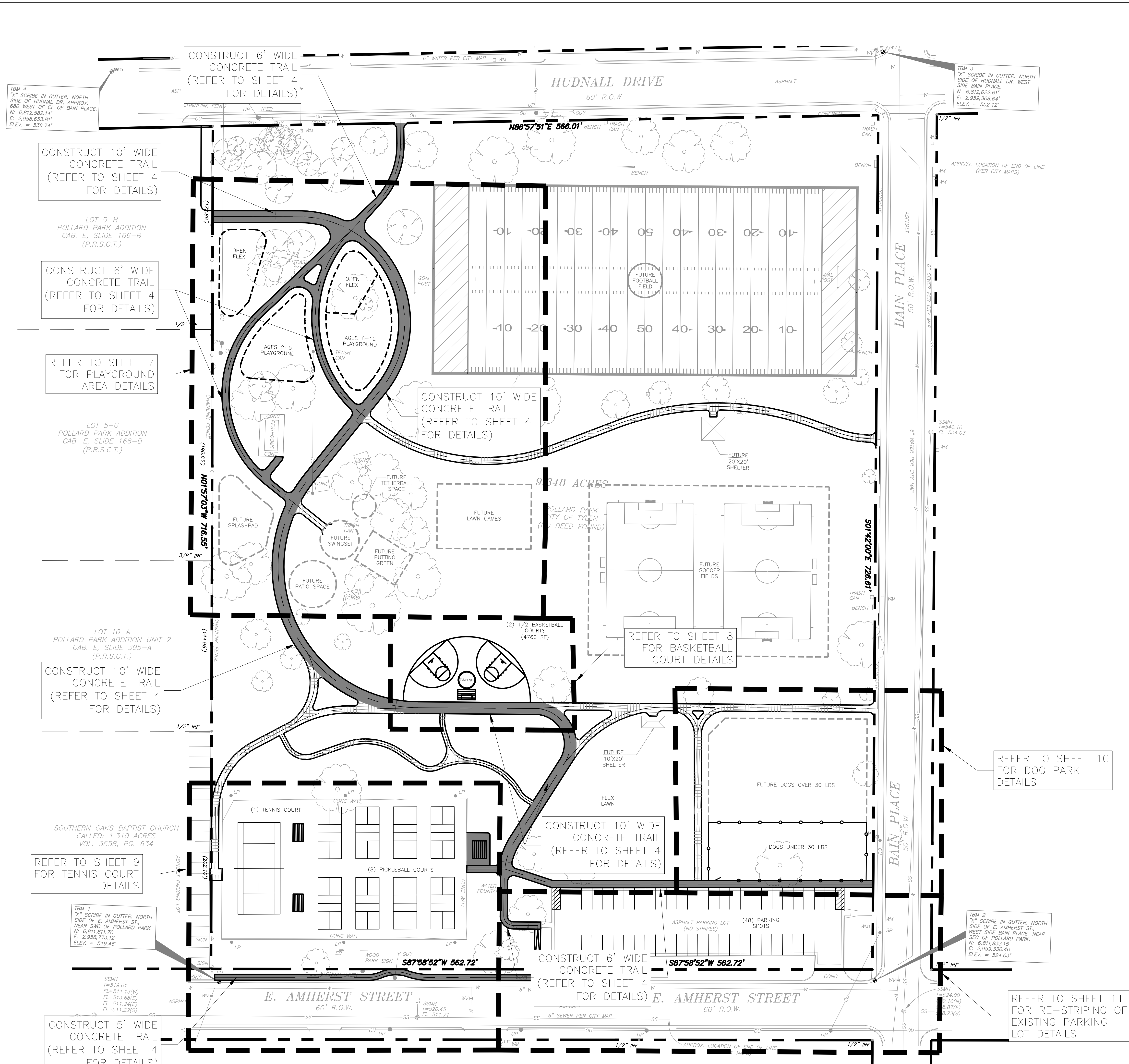


- ① EXISTING BENCH TO REMAIN
- ② EXISTING TRASH CAN TO REMAIN
- ③ EXISTING GOAL POST TO REMAIN
- ④ EXISTING GOAL POST TO BE REMOVED
- ⑤ EXISTING WATER METER TO REMAIN
- ⑥ EXISTING CHAIN LINK FENCE TO REMAIN
- ⑦ EXISTING WINDSCREEN TO BE REMOVED FROM CHAIN LINK FENCE, AND CHAIN LINK FENCE TO REMAIN
- ⑧ EXISTING CONCRETE WALL TO REMAIN
- ⑨ EXISTING LIGHT POLE TO REMAIN
- ⑩ EXISTING GUY WIRE ANCHOR TO REMAIN
- ⑪ EXISTING WATER FOUNTAIN TO REMAIN
- ⑫ EXISTING GAS METER TO REMAIN
- ⑬ EXISTING ADA RAMP TO REMAIN
- ⑭ EXISTING UTILITY POLE TO REMAIN
- ⑮ EXISTING SIGN TO REMAIN
- ⑯ EXISTING WARNING SIREN TO REMAIN
- ⑰ EXISTING ELECTRICAL BOX TO REMAIN
- ⑱ EXISTING FIRE HYDRANT TO REMAIN
- ⑲ EXISTING CONCRETE TO REMAIN
- ⑳ EXISTING BENCH TO BE REMOVED
- ㉑ EXISTING RESTROOM BUILDING AND SURROUNDING CONCRETE TO REMAIN
- ㉒ CONTRACTOR TO CONFIRM TREE REMOVAL REQUIRED AROUND PROPOSED PLAYGROUND AREAS WITH CITY OF TYLER AFTER STAKING IS COMPLETED AND PRIOR TO BEGINNING CONSTRUCTION
- ㉓ EXISTING GATE TO REMAIN
- ㉔ EXISTING CHAIN LINK FENCE TO BE REMOVED

TBM 4	ELEVATION - 536.74
"X" SCRIBE IN GUTTER. NORTH SIDE OF HUDNAL DR, APPROX. 680 WEST OF CL OF BAIN PLACE.	
N:	6,812,582.14
E:	2,958,653.81

2  
Sheet Number

\\TYLER\60000\46071.001\CD\Sheets\TYR\46071.001 -Overall Site Plan.dwg 2/28/2023



TBM 1	ELEVATION - 519.46'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., NEAR SWC OF POLLARD PARK.	
N:	6,811,811.70
E:	2,958,773.12
TBM 2	ELEVATION - 524.03'
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., WEST SIDE BAIN PLACE, NEAR SEC OF POLLARD PARK.	
N:	6,811,833.15
E:	2,959,330.40
TBM 3	ELEVATION - 552.12'
"X" SCRIBE IN GUTTER, NORTH SIDE OF HUDNALL DR., WEST SIDE BAIN PLACE.	
N:	6,812,622.61'
E:	2,959,308.64'
TBM 4	ELEVATION - 536.74'
"X" SCRIBE IN GUTTER, NORTH SIDE OF HUDNALL DR., APPROX. 680 WEST OF CL OF BAIN PLACE.	
N:	6,812,582.14
E:	2,958,653.81

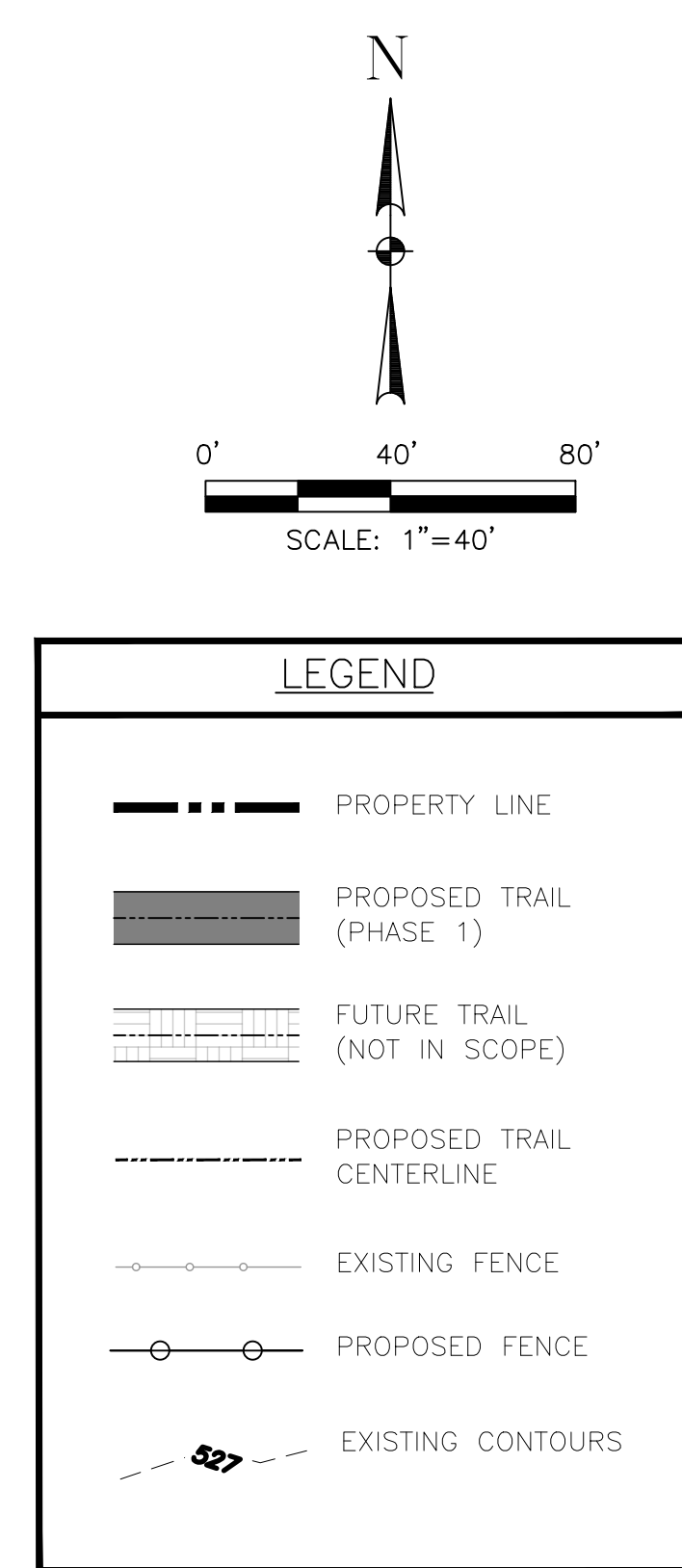
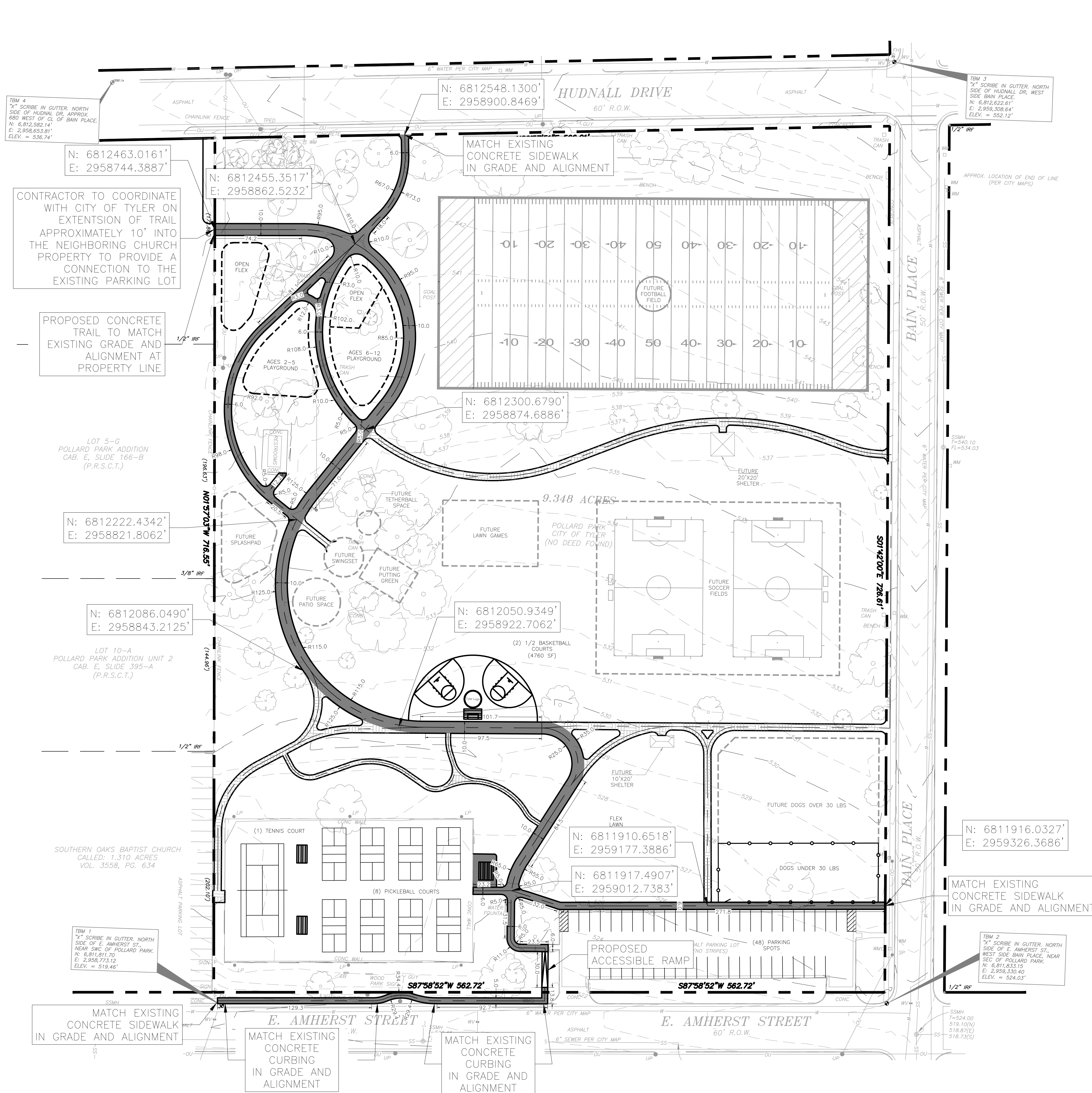
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Project No.:	46071.001
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Sheet Title	OVERALL SITE PLAN
Sheet Number	3



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**POLLARD PARK IMPROVEMENTS**  
CITY OF TYLER  
TYLER, TEXAS 75701



- NOTES:
1. SEE SHEET 12 - 14 FOR ALL APPLICABLE STANDARD DETAILS.
- TRAIL LAYOUT NOTES:
1. STAKE CENTERLINE OF TRAIL IN FIELD PRIOR TO ANY TREE REMOVAL OR TRIMMING.
  2. OWNER WILL REVIEW FIELD STAKING AND MAY MAKE CHANGES TO THE ALIGNMENT PRIOR TO TRAIL CLEARING AND CONSTRUCTION.
  3. SET FINAL TRAIL ALIGNMENT SUCH THAT ALL POINTS ALONG THE TRAIL HAVE LESS THAN A 5% SLOPE IN THE DIRECTION OF THE TRAIL CENTERLINE.
  4. INSTALL TREE PROTECTION FOR ANY AND ALL TREES WITHIN 10 FEET OF THE NEW TRAIL EDGE.(REFER TO DETAILS)
  5. ALL EXISTING TRAIL THAT IS PLANNED TO BE REMOVED, SHOULD BE REMOVED PRIOR TO BEGINNING OF CONSTRUCTION.
  6. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD RE-ALIGNMENT OF THE STAKED TRAIL BE NECESSARY.

- TRAIL LAYOUT NOTES:

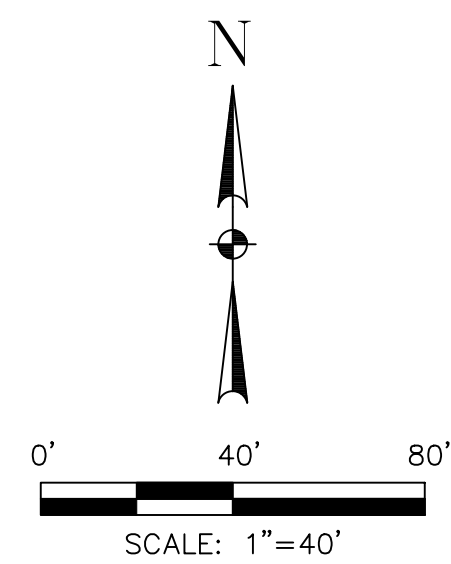
**POLLARD PARK  
IMPROVEMENTS**  
CITY OF TYLER  
TYLER, TEXAS 75701

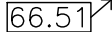

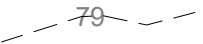

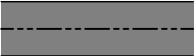



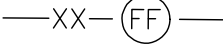



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TRAIL .PLAN



<u>LEGEND</u>	
	PROPOSED ELEVATION
	EXISTING ELEVATION
	EXISTING CONTOUR
	PROPERTY LINE
	PROPOSED TRAIL (PHASE 1)
	FUTURE TRAIL (NOT IN SCOPE)
	PROPOSED TRAIL CENTERLINE
	STORM WATER FLOW ARROW
	REINFORCED FILTER FABRIC FENCE
	CONCRETE TRUCK WASH

NOTES:

1. SEE SHEET 12 - 14 FOR ALL APPLICABLE STANDARD DETAILS.
2. ALL PROPOSED GRADES ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE.

### TRAIL LAYOUT NOTES

1. STAKE CENTERLINE OF TRAIL IN FIELD PRIOR TO ANY TREE REMOVAL OR TRIMMING.
2. OWNER WILL REVIEW FIELD STAKING AND MAY MAKE CHANGES TO THE ALIGNMENT PRIOR TO TRAIL CLEARING AND CONSTRUCTION.
3. SET FINAL TRAIL ALIGNMENT SUCH THAT ALL POINTS ALONG THE TRAIL HAVE LESS THAN A 5% SLOPE IN THE DIRECTION OF THE TRAIL CENTERLINE.
4. INSTALL TREE PROTECTION FOR ANY AND ALL TREES WITHIN 10 FEET OF THE NEW TRAIL EDGE.(REFER TO DETAILS)
5. ALL EXISTING TRAIL THAT IS PLANNED TO BE REMOVED, SHOULD BE REMOVED PRIOR TO BEGINNING OF CONSTRUCTION.
6. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SHOULD RE-ALIGNMENT OF THE STAKED TRAIL BE NECESSARY.

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Sheet Title	

## GRADING PLAN

5.

Sheet Number

**POLLARD PARK  
IMPROVEMENTS**  
CITY OF TYLER  
TYLER, TEXAS 75701



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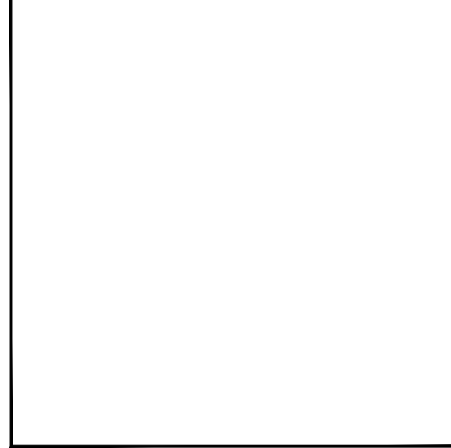
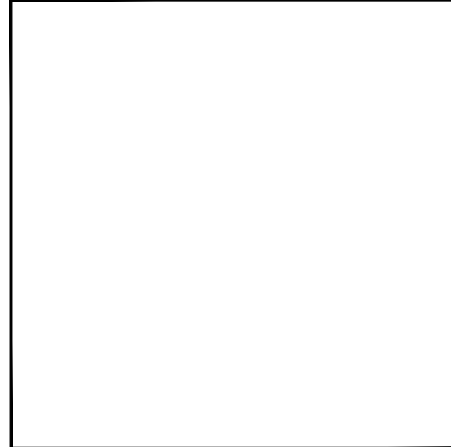
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IMPROVEMENTS  
CITY OF TYLER  
TYLER, TEXAS 75701



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Revision No.	Date	Description



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Sheet Title  
UTILITY PLAN

6  
Sheet Number

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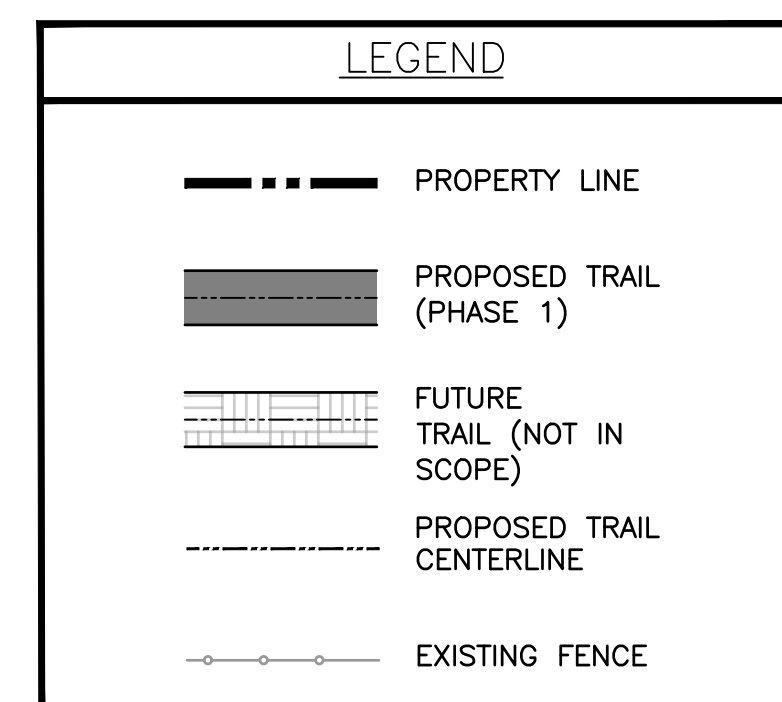
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## PLAYGROUND PLAN

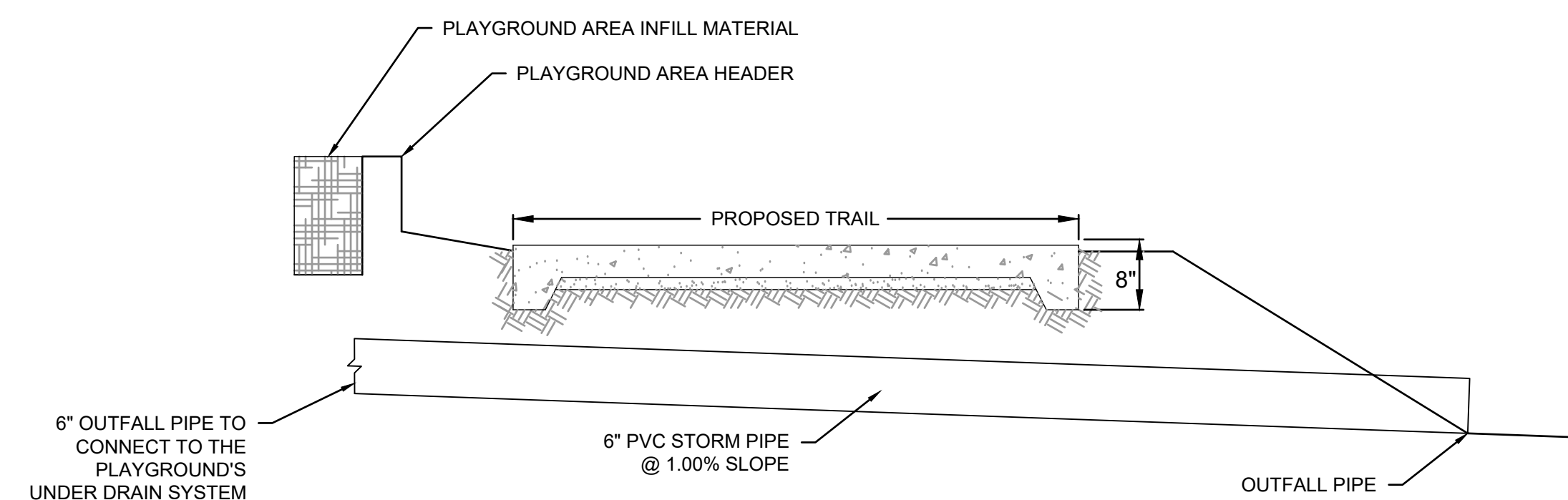
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Sheet Number



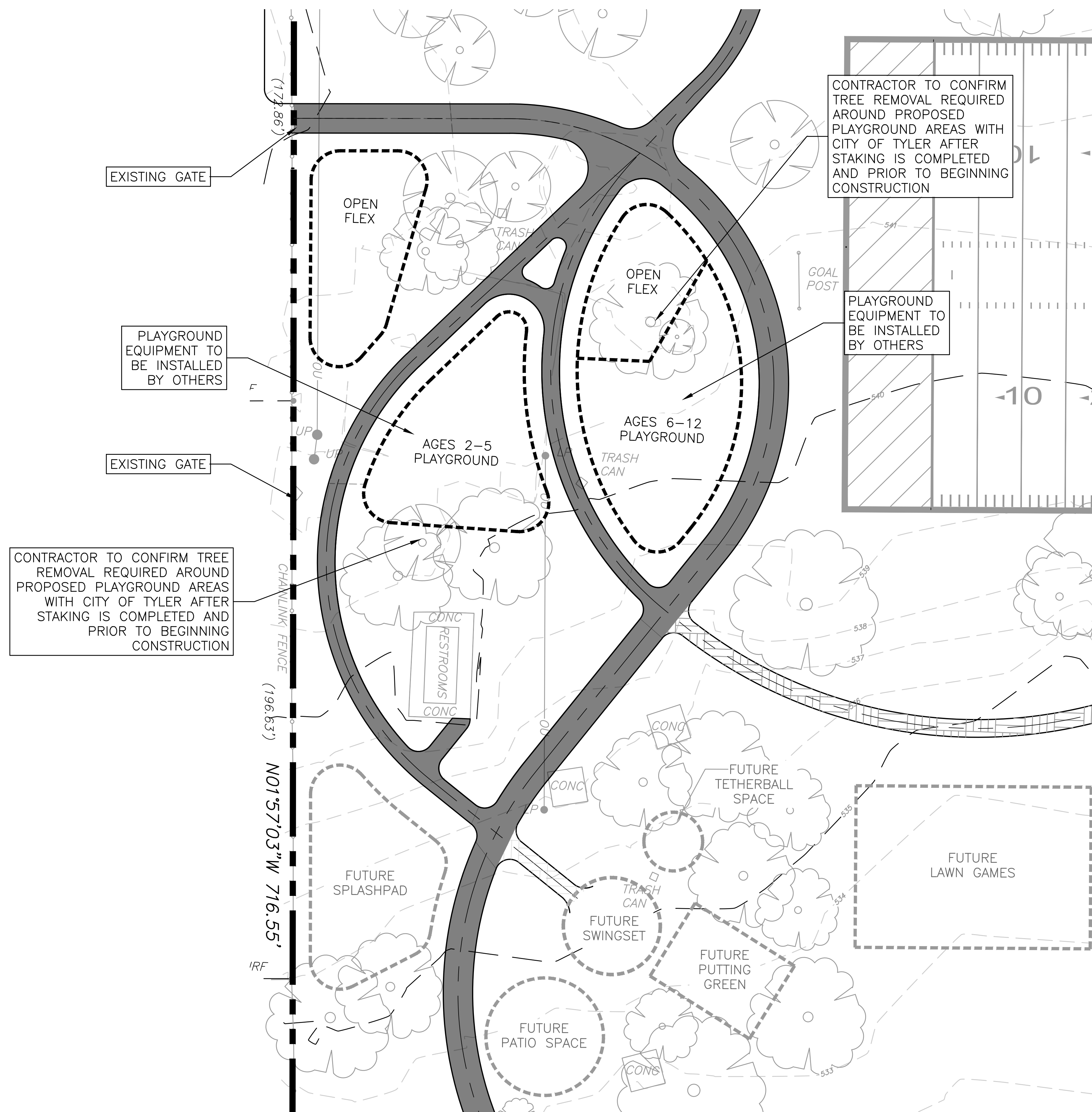
NOTES:

1. SEE SHEET 4 FOR TRAIL DETAILS.
2. PLAYGROUND EQUIPMENT TO BE INSTALLED BY OTHERS



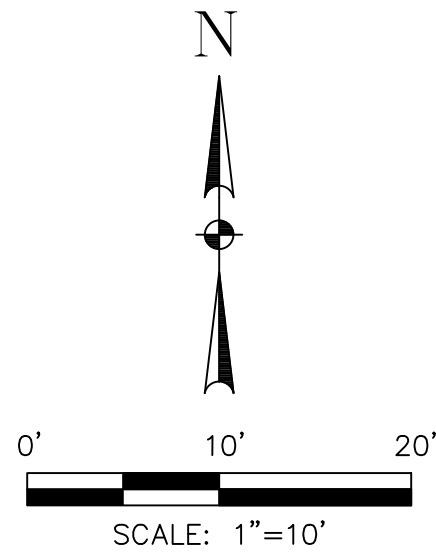
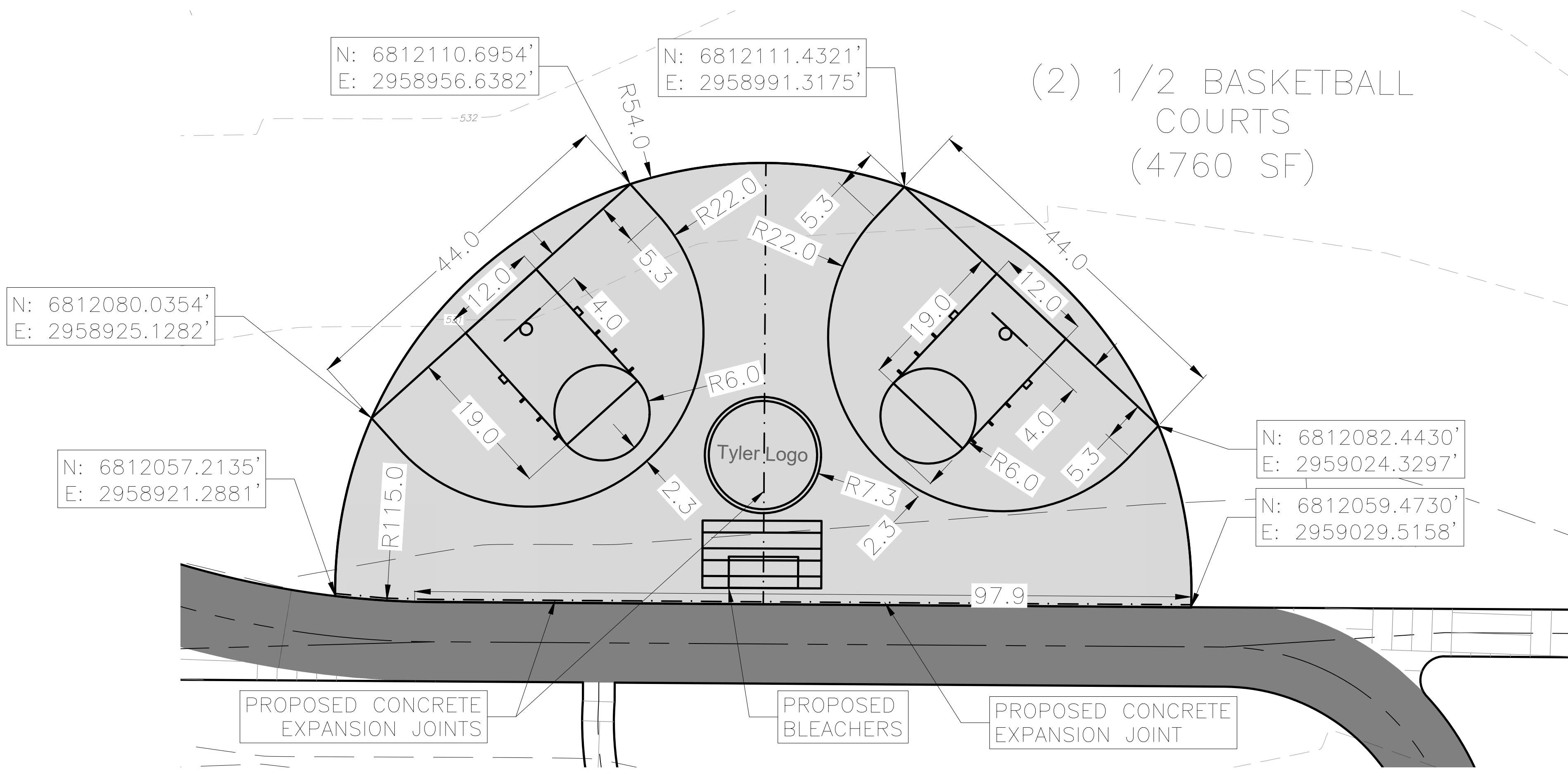
TYPICAL PLAYGROUND DRAINAGE  
DISCHARGE PIPE DETAIL  
N.T.S.

TBM 1	ELEVATION - 519.46
"X" SCRIBE IN GUTTER. NORTH SIDE OF E. AMHERST ST., WEST SWC OF POLLARD PARK.	
N: 6,811,811.70	
E: 2,958,773.12	
TBM 2	ELEVATION - 524.03
X" SCRIBE IN GUTTER. NORTH SIDE OF E. AMHERST ST., WEST SIDE BAIN PLACE, NEAR SEC OF POLLARD PARK.	
N: 6,812,833.15	
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TBM 3	ELEVATION - 552.12
"X" SCRIBE IN GUTTER. NORTH SIDE OF HUDNALL DR, WEST SIDE BAIN PLACE.	
N: 6,812,622.61'	
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TBM 4	ELEVATION - 536.74
"X" SCRIBE IN GUTTER. NORTH SIDE OF HUDNALL DR, APPROX. 680 WEST OF CL OF BAIN PLACE.	
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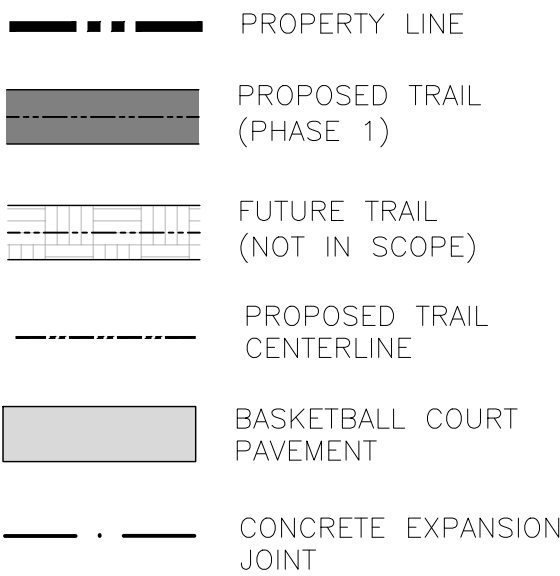


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W:\TDR\46000A\46071\001\CD01\Sheet\TDR\46071\_001 - Basketball Court Layout\_Sheet.dwg 2/28/2023



LEGEND



NOTES:

1. SEE SHEET 4 FOR TRAIL DETAILS.

BASKETBALL COURT NOTES

1. STAKE CORNERS OF COURTS IN FIELD PRIOR TO ANY TREE REMOVAL OR TRIMMING.
2. OWNER WILL REVIEW FIELD STAKING AND MAY MAKE CHANGES PRIOR TO CLEARING AND CONSTRUCTION.
3. INSTALL TREE PROTECTION FOR ANY AND ALL TREES WITHIN 10 FEET OF THE NEW COURT FOUNDATION.
4. BASKETBALL COURT CONSTRUCTION SHALL CONSIST OF A 5" THICK CONCRETE SLAB.
5. BASKETBALL COURT SUBGRADE SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY AT  $\pm 3\%$  OPTIMUM MOISTURE.
6. INSTALL A MINIMUM 6 MIL. THICKNESS OF VIRGIN POLYETHYLENE FILM VAPOR BARRIER BETWEEN SAND CUSHION AND CONCRETE SLAB. LAP JOINTS A MINIMUM OF 12". PATCH AND SEAL ALL JOINTS AND PUNCTURES WITH ADHESIVE POLYETHYLENE TAPE TO PROVIDE A WATERPROOF MEMBRANE.
7. THE CONTRACTOR WILL BE RESPONSIBLE FOR FINISH GRADING AND ASSURING THAT ALL WATER DRAINS AWAY FROM THE FINISHED SLAB.
8. THE CONCRETE SLAB SHALL BE INSTALLED IN NOT MORE THAN 2 SEPARATE POURS USING KEVD CONSTRUCTION JOINT WITH 24" DOWELS PENETRATING 12" ON THRU THE KEYWAY.
9. BARS TO BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING PLACEMENT OF CONCRETE.
10. THE PLAYING SURFACE SHALL BE FINISHED WITH THE PLEXIPAVE ACRYLIC COLOR SURFACING SYSTEM AS MANUFACTURED BY CALIFORNIA PRODUCTS CORP., 169 WAVERLY ST., P.O. BOX 569, CAMBRIDGE, MA. 02139, 1-800-225-1141 OR AN APPROVED EQUAL. THE SYSTEM SHALL CONSIST OF AN ACIDETCHING AFTER A 28 DAY CURING PERIOD, TRI-COAT PRIMER, COLORED ACRYLIC RESURFACER, TWO COATS OF COLORED FORTIFIED PLEXIPAVE AND 100% ACRYLIC LATEX, TEXTURED, WHITE LINE PAINT. THE SURFACE COLOR SHALL BE FLORIDA GREEN, IN-BOUNDS, WITH LIGHT GREEN OUT-OF-BOUNDS. THE SURFACE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
11. SUBGRADE SOILS WITH A PI GREATER THAN 15 SHALL BE EXCAVATED TO A DEPTH OF THREE FEET AND REPLACED WITH SELECT FILL.
12. BASKETBALL COURT PAVEMENT SHALL BE:  
a. PAVEMENT AREA: 5" THICK, 3500 PSI CONCRETE REINFORCED WITH #4 REINFORCING BARS @ 12" O.C.E.W.

TBM 1 ELEVATION - 519.46'  
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E: 2,958,773.12

TBM 2 ELEVATION - 524.03'  
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., WEST SIDE BAIN PLACE, NEAR SEC OF POLLARD PARK.  
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TBM 3 ELEVATION - 552.12'  
"X" SCRIBE IN GUTTER, NORTH SIDE OF HUDNALL DR, WEST SIDE BAIN PLACE.  
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TBM 4 ELEVATION - 536.74'  
"X" SCRIBE IN GUTTER, NORTH SIDE OF HUDNALL DR, APPROX. 680 WEST OF CL OF BAIN PLACE.  
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POLLARD PARK  
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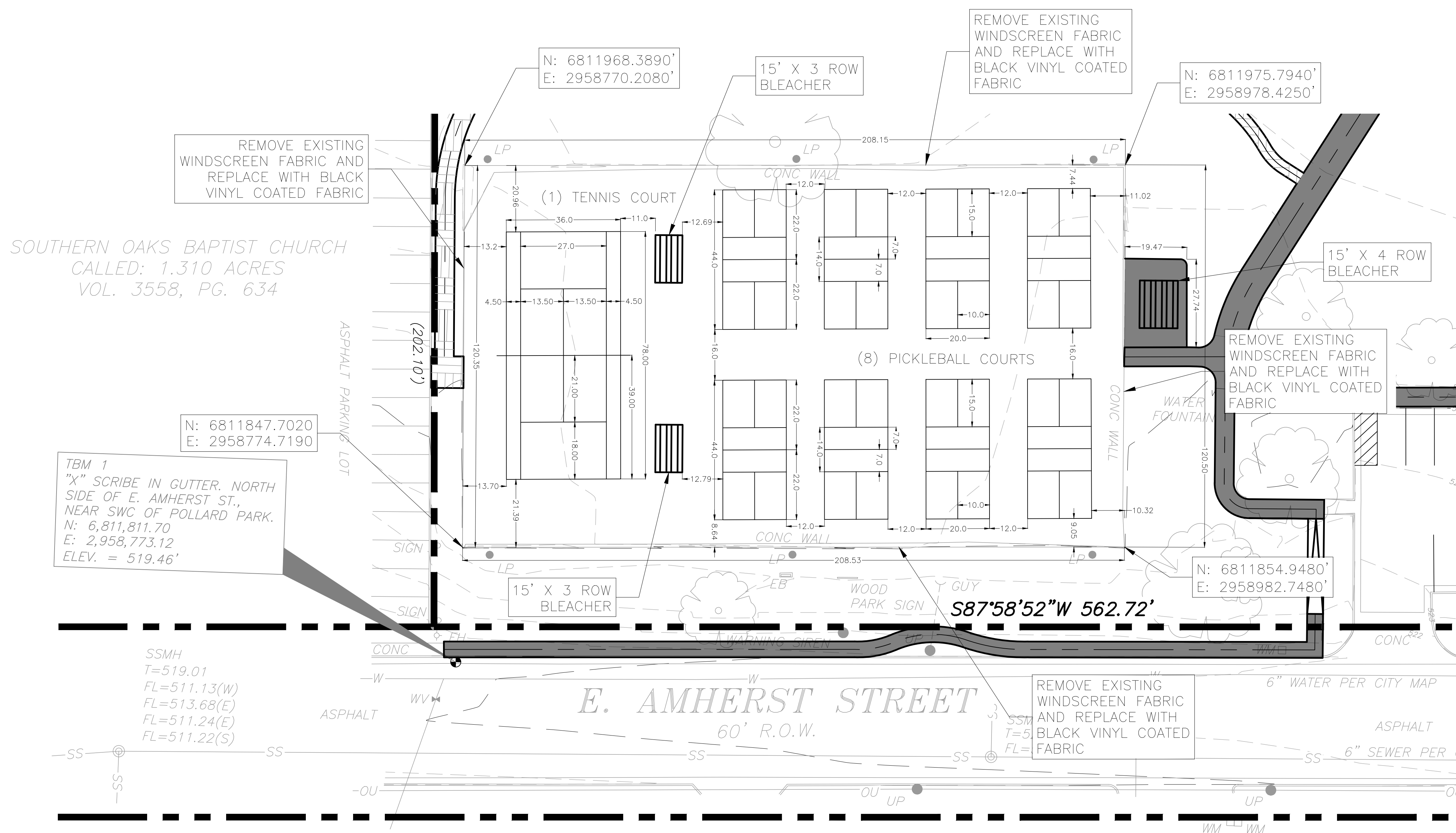
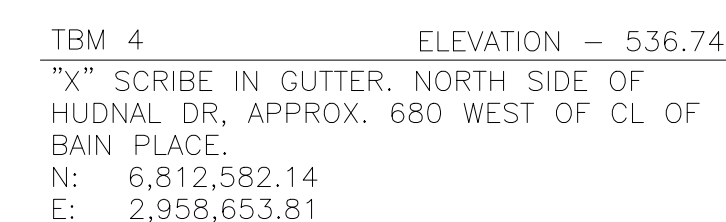
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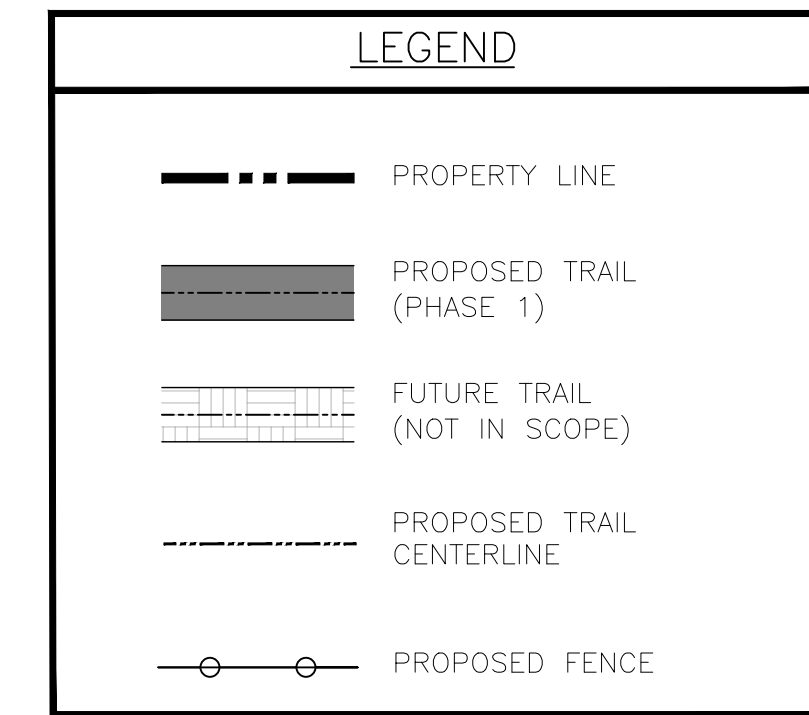
Revision No.	Date	Description

Project No.: 46071.001  
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Scale: AS NOTED

Sheet Title  
BASKETBALL COURT PLAN

8  
Sheet Number





1. SEE SHEET 12 - 14 FOR ALL APPLICABLE STANDARD DETAILS.
2. REFER TO SHEET 4 FOR TRAIL DETAILS.
3. REFER TO SHEET 11 FOR PARKING LOT DETAILS.



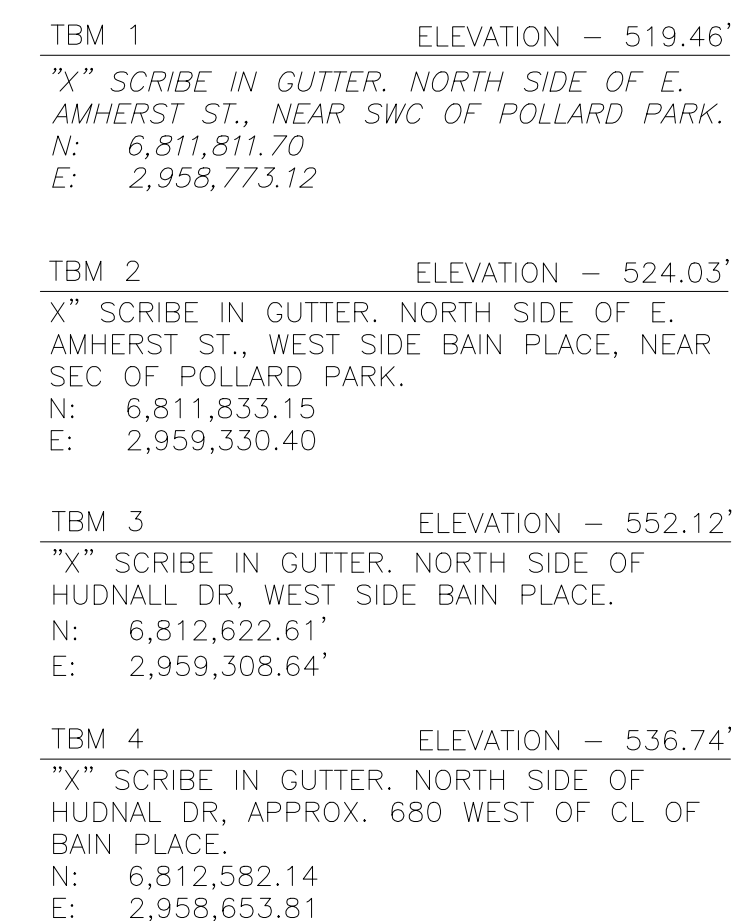
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DOG PARK PLAN

10  
Sheet Number



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NOTES:

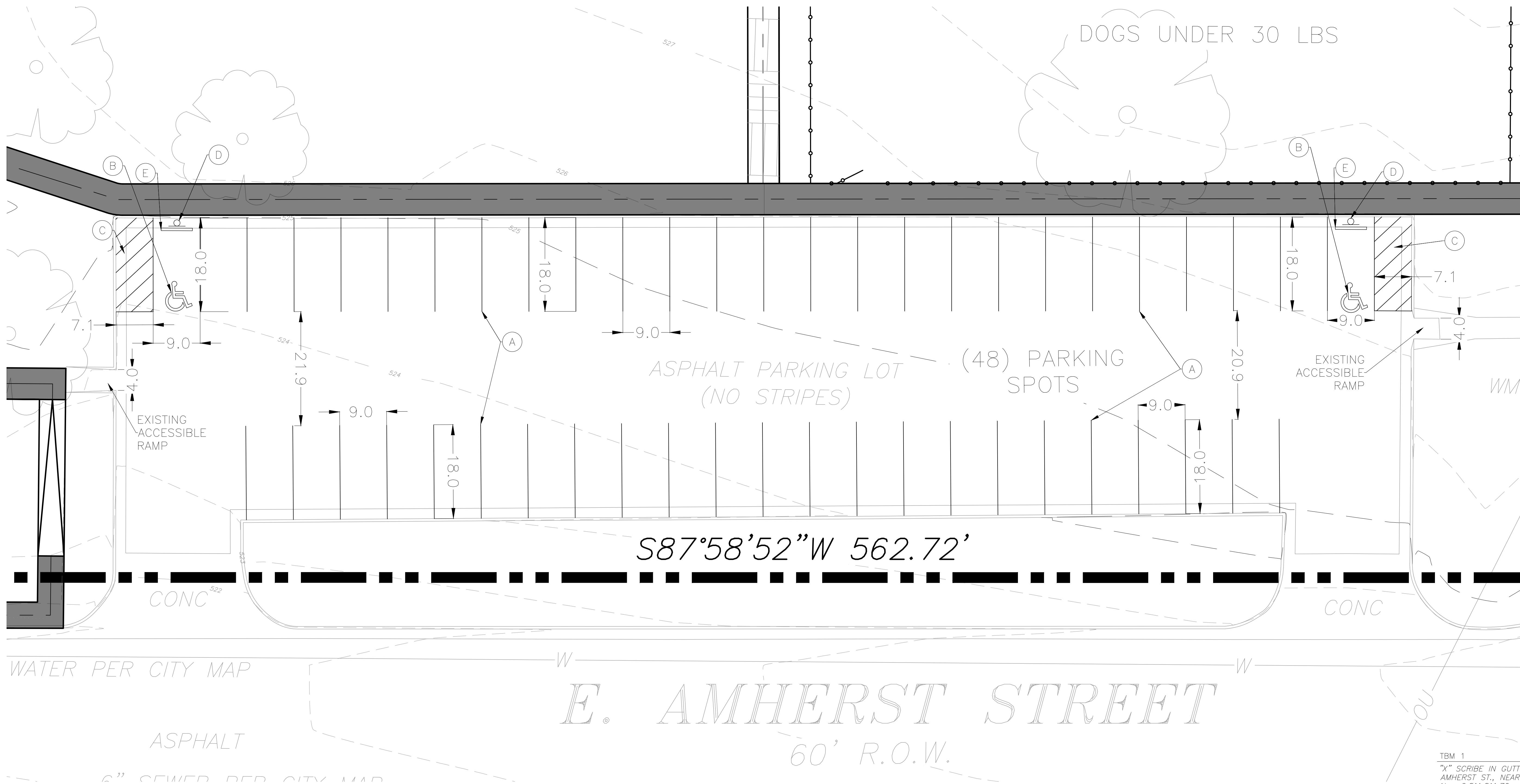
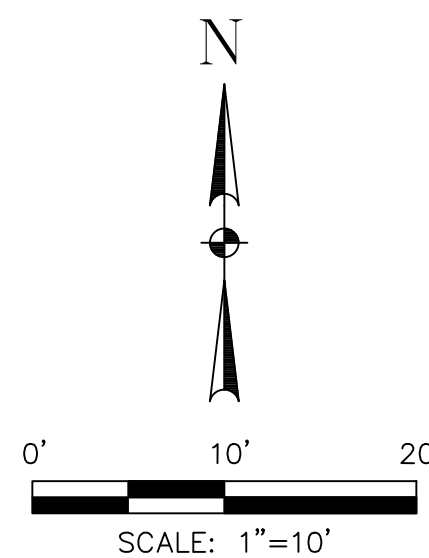
1. SEE SHEET 12 - 14 FOR ALL APPLICABLE STANDARD DETAILS.
2. REFER TO SHEET 4 FOR TRAIL DETAILS.
3. REFER TO SHEET 10 FOR DOG PARK DETAILS.

KEYNOTES

- (A) 4" WHITE SOLID TY II PAVEMENT MARKING
- (B) BLUE OR WHITE ACCESSIBLE PARKING SYMBOL TY II SEE SHEET 14 FOR DETAIL
- (C) 4" WHITE SOLID TY II SEE SHEET 14 FOR DETAIL WITH SPACING
- (D) PROPOSED ACCESSIBLE PARKING SIGN SEE SHEET 14 FOR DETAIL (TYP)
- (E) PROPOSED WHEELSTOP, SEE SHEET 14 FOR DETAIL (TYP)

LEGEND

- PROPERTY LINE
- PROPOSED TRAIL (PHASE 1)
- FUTURE TRAIL (NOT IN SCOPE)
- PROPOSED TRAIL CENTERLINE
- PROPOSED FENCE



TBM 1 ELEVATION - 519.46'  
"X" SCRIBE IN GUTTER, NORTH SIDE OF E. AMHERST ST., NEAR SWC OF POLLARD PARK.  
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TBM 2 ELEVATION - 524.03'  
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Suite 117  
Tyler, Texas 75701  
(903) 617-5360  
TBP&LS FIRM #F-312

Revision No.	Date	Description

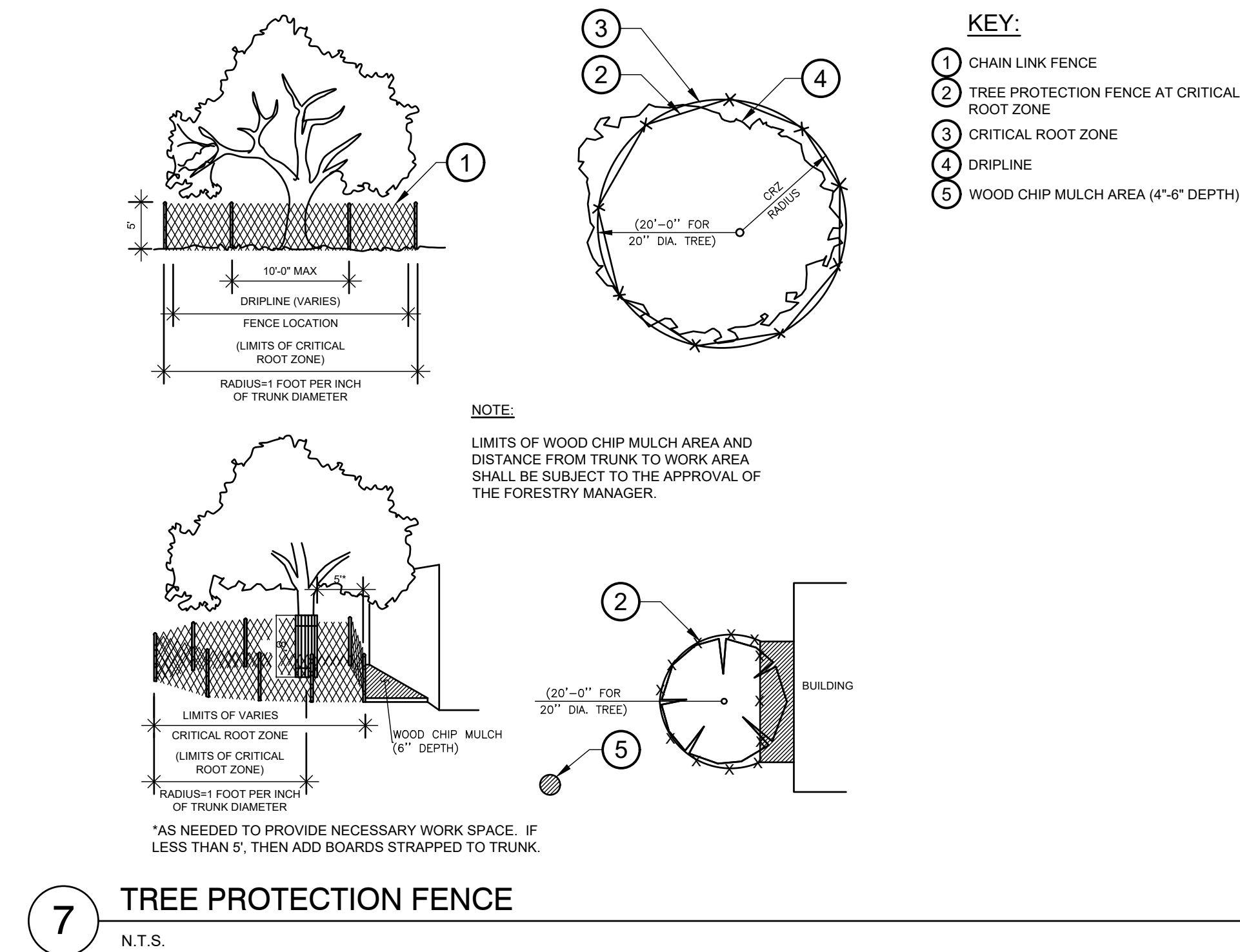
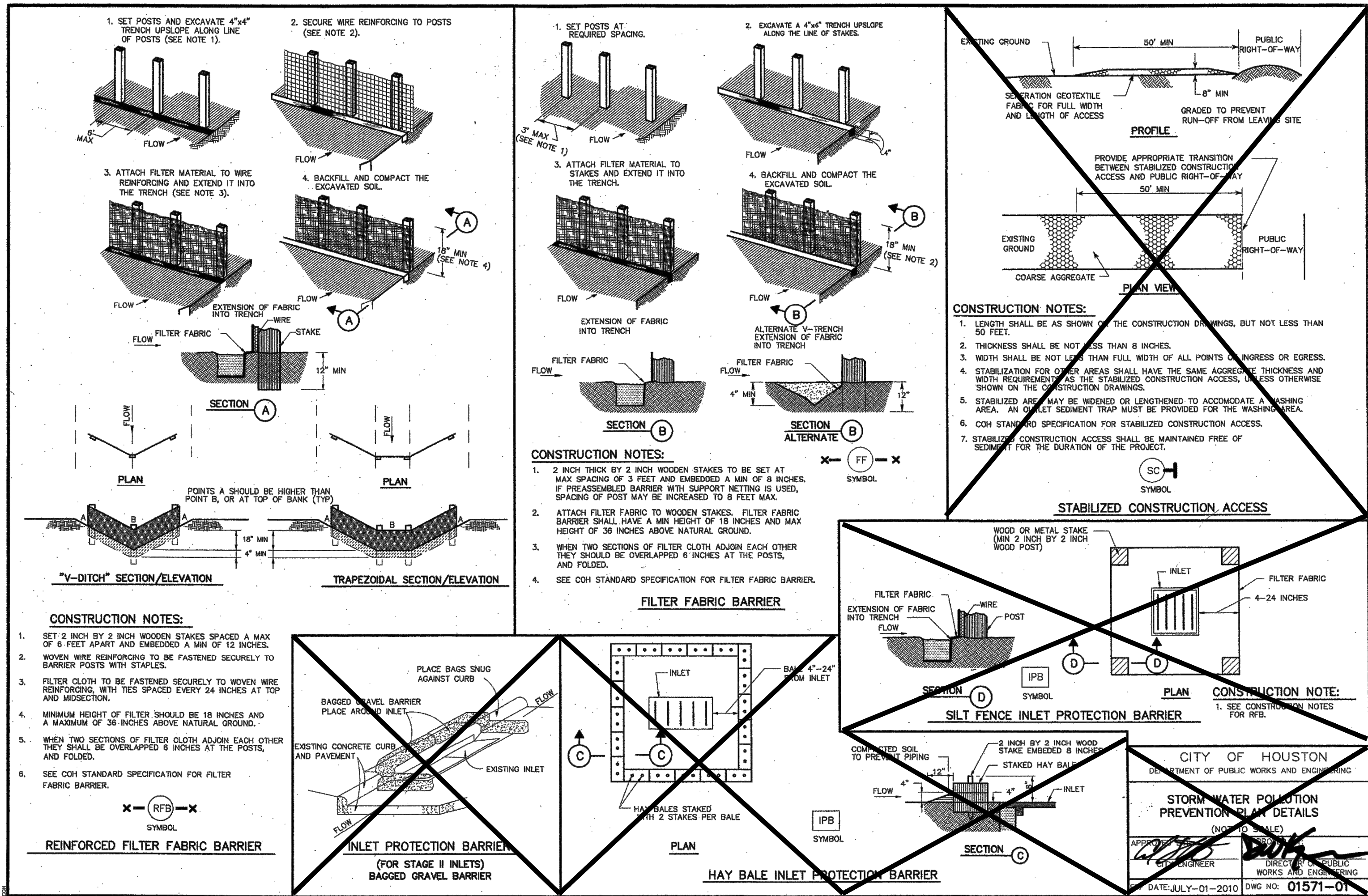
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PARKING LOT PLAN

1.1  
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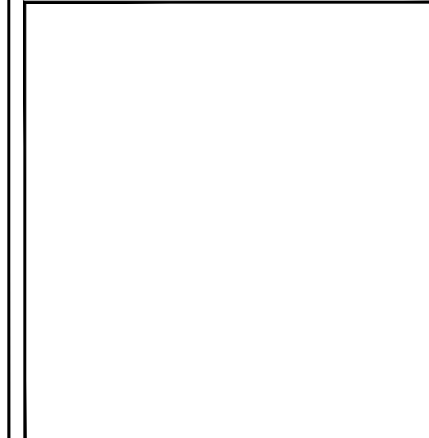
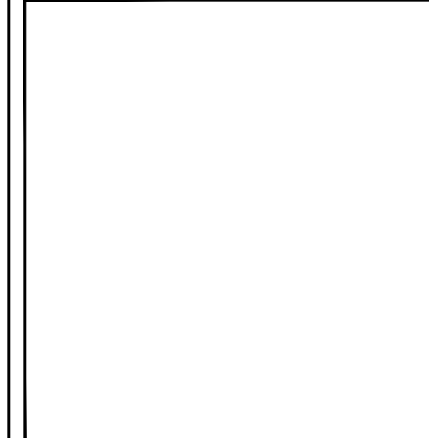


POLLARD PARK  
IMPROVEMENTS  
CITY OF TYLER  
TYLER, TEXAS 75701



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DETAILS

13

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